



A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 19TH AUGUST 2024** at **7:00 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 10)

To approve as a correct record the Minutes of the meeting held on 15th July 2024.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Offord Cluny And Offord Darcy - 24/00905/HHFUL (Pages 11 - 30)

Installation of two rooflights to south facing roof slope of existing single-storey projection to rear - 73 High Street, Offord Darcy, St Neots PE19 5RH.

(b) Somersham - 24/00926/FUL (Pages 31 - 50)

Erection of a self-build dwelling following the demolition of the existing attached garage - 12 Parkhall Road, Somersham, Huntingdon, PE28 3EU.

(c) Earith - 24/00914/S73 (Pages 51 - 66)

Variation of Condition 2 (Approved Plans) and Condition 3 (Materials) for 23/00816/FUL to remove rear conservation and insertion of bifold doors, grey roof tiles instead of brown and install flush fitting casement windows - 37 High Street, Earith, Huntingdon, PE28 3PP.

(d) Ramsey - 21/02793/FUL (Pages 67 - 84)

Reconfiguration of, and extension to, existing car park to provide 2 disability parking bays and 14 additional parking bays, widening of existing building perimeter path, installation of new weld wire mesh fence as well as new lamp post and replacement of external wall lighting. - One Leisure, Abbey Road, Ramsey, Huntingdon, PE26 1DP.

4. APPEAL DECISIONS (Pages 85 - 86)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

7th day of August 2024

Michelle Sacks

Chief Executive and Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on [Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests is available in the Council's Constitution](#)

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Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query

on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the [District Council's website](#).

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HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN on Monday, 15 July 2024

PRESENT: Councillor D L Mickelburgh – Chair.

Councillors E R Butler, J Clarke, S J Corney, S R McAdam, J Neish, B M Pitt, T D Sanderson and S Wakeford.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors R J Brereton, D B Dew, K P Gulson, P A Jordan, S Mokbul, R A Slade and C H Tevlin.

10 MINUTES

The Minutes of the meeting of the Committee held on 17th June 2024 were approved as a correct record and signed by the Chair.

11 MEMBERS' INTERESTS

Councillor E Butler declared a Non-Registrable Interest in Minute No 12 (c) by virtue of the fact that he knew who the applicant was but had no connection with him.

Councillor S Corney declared a Non-Registrable Interest in Minute No 12 (d) by virtue of the fact that the application related to the Ward he represented.

Councillor J Clarke declared a Non-Registrable Interest in Minute 12(d) by virtue of the fact that the applicant was a close associate, he left the room and did not speak or vote on the application.

Councillor S Wakeford declared a Non-Registrable Interest in Minute No 12 (f) by virtue of the fact that the application related to the Ward he represented.

Councillor T Sanderson declared an Other Registrable Interest in Minute No 12 (f) by virtue of the fact that he was a Member of Huntindgon Town Council, but he had not been involved in any discussion or voting on the application within the Town Council.

Councillor S McAdam declared an Other Registrable Interest in Minute No 12 (f) by virtue of the fact that he was a Member of Huntindgon Town Council, but he had not been involved in any discussion or voting on the application within the Town Council.

12 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

- a) **Use of Land for Gypsy and Traveller Residential Use creating 7 pitches comprising the siting of 1 mobile home, 1 touring caravan, a Day Room and associated parking and a new Children's Play Area - Legacy Park, Chatteris Road, Somersham - 23/02358/FUL**

(Councillor R Sutton, Somersham Parish Council, and M Hargreaves, Agent, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

- b) **Proposed change of use of golf clubhouse and hotel to form 14 dwellings, demolition of later extensions to the heritage assets, greenkeepers store, shop and office and the erection of 5 dwellings (19 dwellings total) - Abbotsley Golf Club, Drewels Lane, Abbotsley, St Neots, PE19 6XN - 23/00500/FUL**

(J Gearing, objector, and D Jones, Agent, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted together with additional conditions relating to refuse collection and fire hydrants.

- c) **Variation of condition 2 (approved plans) and 13 (feedstock limit) of 22/01107/FUL to amend design/layout and increase amount of total feedstock tonnage permitted in 12 month period by 15% - Collmart Growers Ltd, The Drove, Pondersbridge, Huntingdon, PE26 2TP - 24/00066/S73**

(Councillor D Gillam, Farcet Parish Council, and D Mead, Agent, addressed the Committee on the application).

See Minute No 11 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

At 8.30 pm the meeting was adjourned.

At 8.40 pm the meeting resumed.

- d) **Change of use from a vacant bank/indoor market (Class E) to a hot food takeaway (sui generis); installation of extract and ventilation equipment, with alterations to the interior and exterior of the building - 11a Great Whyte, Ramsey - 24/00136/FUL and 24/00137/LBC**

(Councillor V Fenley, Ramsey Town Council, and A Hodgson, Agent, addressed the Committee on the application).

See Minute No 11 for Members' interests.

- a) that application 24/00136/FUL be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted; and
- b) that application 24/00137/LBC be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

- e) **Variation of Conditions 2 (Extension to duration of planning consent) and 5 (Biodiversity Management/Planting) of 1401623FUL - Land South West of Caldecote Manor Farm, St Neots Road, Abbotsley - 23/02183/S73**

(B Rider, applicant, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

- f) **To divide existing ground floor shop unit in to two smaller shop units fronting the high street, together with an executive car showroom within the existing building to the rear. Provision of 31 short stay hotel rooms to first floor with new windows set into existing side and rear elevations behind street frontage building, together with a first floor infill extension over existing flat roof between existing buildings- 111 High Street, Huntingdon, PE29 3LD - 23/00814/FUL and 23/00815/LBC**

(Councillor D Cole, Huntingdon Town Council, addressed the Committee on the application).

See Minute No 11 for Members' interests.

- a) that application 23/00814/FUL be refused for the following reasons:
 - 1. The proposed car showroom element of the proposal is not considered to fall within the category of 'main town centre uses' as defined by the National Planning Policy Framework. As such the proposal would represent an inappropriate use within the Primary Shopping Area and Town Centre of Huntingdon and would be contrary to Policy LP21 of the adopted Huntingdonshire Local Plan to 2036, Policy TC1 of the Huntingdon Neighbourhood Plan, and Section 7 of the National Planning Policy Framework.
 - 2. The plans submitted with the application have not been drawn accurately as there are significant and fundamental drawing errors. As the

application is not supported by sufficient and accurate information, the Local Planning Authority is unable to assess the proposals appropriately and meet their statutory duty to preserve the listed building and its setting and have due regard to the preservation and enhancement of the Huntingdon Conservation Area. In the absence of sufficient and correct information to evidence how the proposal would not result in harm, officers must therefore determine that the proposal would result in harm to the heritage asset. Whilst the proposed change of use would secure a long-term viable use for the listed building, this benefit would not outweigh the identified harm. As such, the proposed development is considered to be contrary to Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP11, LP12 and LP34 of the Huntingdonshire Local Plan to 2036, Policies BE1, BE2 and BE3 of the Huntingdon Neighbourhood Plan, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework (2023).

3. The application has not been accompanied by a Noise Impact Assessment and therefore the Local Planning Authority are not able to determine whether the proposal would result in unacceptable noise impacts on users of the proposed short-stay hotel. As such, the proposal would be contrary to Policy LP14 of the Huntingdonshire Local Plan to 2036, guidance within the Huntingdonshire Design Guide SPD and the National Planning Policy Framework (2023).
 4. The site falls within a designated Air Quality Management Area and the application has not been accompanied by an Air Quality Assessment. As such, the proposal would be contrary to Policy LP36 of the Huntingdonshire Local Plan to 2036 and the National Planning Policy Framework (2023).
- b) that application 23/00815/LBC be refused because the plans submitted with the application have not been drawn accurately as there are significant and fundamental drawing errors. As the application is not supported by sufficient and accurate information, the Local Planning Authority is unable to assess the proposals appropriately and meet their statutory duty to preserve the listed building and its setting, and have due regard to the preservation and enhancement of the Huntingdon Conservation Area. In the absence of sufficient and correct information to evidence how the proposal would not result in harm, officers must therefore determine that the proposal would result in harm to the heritage asset. Whilst the proposed change of use would secure a long-term viable use for the listed building, this benefit would not outweigh the identified harm. As such, the proposed development is considered to be contrary to Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP11, LP12 and LP34 of the Huntingdonshire Local Plan to 2036, Policies BE1, BE2 and BE3 of the Huntingdon Neighbourhood Plan, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework (2023).

13 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of three recent decisions by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

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DEVELOPMENT MANAGEMENT COMMITTEE 19th August 2024

Case No: 24/00905/HHFUL

Proposal: Installation of two rooflights to south facing roof slope of existing single-storey projection to rear.

Location: 73 HIGH STREET, OFFORD DARCY, ST NEOTS PE19 5RH

Applicant: Mr and Mrs Johnson

Grid Ref: 521914 266454

Date of Registration: 20.05.2024

Parish: OFFORD CLUNY AND OFFORD DARCY

RECOMMENDATION – GRANT

This application is referred to the Development Management Committee (DMC), in accordance with the current Scheme of Delegation as the application is submitted by a member of the Council's staff who is involved in the planning or development process.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The dwelling is a two-storey semi-detached dwellinghouse within the built-up area of Offord Darcy. The main dwelling is made up of a two-storey building facing west towards the High Street with a single storey east projection to the rear including a substantial wood store. The dwelling has undergone a two-storey rear extension to the rear of the main building unrelated to the single storey projection.
- 1.2 The application seeks planning permission for the insertion of 2 opening and clear glazed, roof lights to the existing single storey rear projection.
- 1.3 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area including reviews of historically held records.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social, and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the

Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment.
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and are material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- Policy LP11 - Design Context
 - Policy LP12 - Design Implementation
 - Policy LP14 - Amenity
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document 2017
 - Developer Contributions SPD 2011
 - Huntingdonshire Landscape and Townscape Assessment (2022)
 - Huntingdonshire Strategic Flood Risk Assessment (2017)
 - Cambridgeshire Flood and Water SPD 2017
 - LDF Developer Contributions SPD (2011)
 - Annual Monitoring Review regarding housing land supply (2021)
 - Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
- 3.3 The National Design Guide (2021)
- C1 - Understand and relate well to the site, its local and wider context
 - I1 - Respond to existing local character and identity
 - I2 - Well-designed, high quality and attractive
 - B2 - Appropriate building types and forms
 - H1 - Healthy, comfortable and safe internal and external environment

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 76/00779/FUL - Erection of Garage and Driveway - 30.07.1976
- 4.2 90/01091/FUL - Extension to dwelling - 24.08.1990
- 4.3 0000400FUL - Extension and alterations to garage to form music/hobbies room - 17.04.2000
- 4.4 24/00089/CLPD - Insertion of 2 no rooflights to south facing roof slope of existing single-storey rear projection; revised fenestration to south facing elevation of existing single storey rear projection; proposed single-storey rear extension partly replacing existing single-storey lean to wood store (part of original dwellinghouse) – 22.04.2024

5. CONSULTATIONS

- 5.1 Offord Parish Council neither support nor object to the application.

6. REPRESENTATIONS

- 6.1 No objections received at time of writing this report.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
 - Relevant Neighbourhood Plans
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the

circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

- 7.5 The main matters for consideration are:
- Design, Visual Amenity, and the impact upon the Character of the Area
 - Impact upon Residential Amenity

Design, Visual Amenity and Impact on the character of the Area

- 7.6 The application seeks to install two roof lights into the existing single storey rear projection South elevation, which faces into the rear garden of the host dwelling.
- 7.7 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. The above policies are reinforced by Paragraphs 128 (d) and (e) and Paragraph 135 (b) and (c) of the NPPF that seek to maintain an area's prevailing character and ensure development is sympathetic to local character.
- 7.8 The National Design Guide (2020) sets out the characteristics of well-designed places and demonstrates what good design means in practice. It covers the following: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan.
- 7.9 The HDS Design Guide (2017) is relevant to the application proposals, in particular chapter 4 and sections 3.7 and 3.8. The guide states that the size, shape, and orientation (the form) of a building can have a significant impact upon its surroundings. The scale, massing and height of proposed development should be considered in relation to that of adjoining buildings, the topography, pattern of heights in the area and views, vistas, and landmarks.
- 7.10 Officers note the previous CLPD reference 24/00089/CLPD issued regarding Development under Schedule 2 - Part 1 - Class C of The Town and Country Planning (General Permitted Development) (England) Order 2015 (As Amended) are subject to conditions set out below;

Development is permitted by Class C subject to the condition that any window located on the roof slope forming a side elevation of the dwellinghouse must be –

a) obscure glazed; and

b) non opening unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.

- 7.11 The applicants are seeking that the rooflights permitted under the CLPD are fitted with clear glazing and capable of being opened in contradiction with the conditions of Schedule 2 - Part 1 - Class C.
- 7.12 The proposed rooflights sit on the south elevation of single storey roof slope within the rear garden of the application site. The clear glazing and opening of the rooflights are considered appropriate and cohesive with the design of the existing structure and not considered to detrimentally impact the visual amenity of the area.
- 7.13 As such, it is considered that the proposed development recognises the character and appearance of the area and responds positively to its context and therefore accords with Chapter 12 of the NPPF (2023) and Policies LP10, LP11 and LP12 of the Local Plan.

Impact upon Residential Amenity

- 7.14 Policy LP14 of the Local Plan states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.15 The application seeks the installation of two roof lights to the south elevation that are opening and clear glazed.
- 7.16 In terms of residential amenity of the neighbouring properties, officers do not consider that the clear glazing and opening of the roof light will cause any detrimental impact. The rooflights are on a single storey existing structure and face into the rear garden of the host dwelling.
- 7.17 As such, it is considered that the proposed development would maintain a high standard of amenity for all occupiers of neighbouring land and buildings and therefore accords with Policy LP14 of Huntingdonshire's Local Plan in this regard.

Human Rights Issues

- 7.18 This application would raise no known Human Rights issues

Equality Act 2010

7.19 This application would raise no known issues under the Equality Act.

Conclusion

7.20 The application seeks to install two clear glazed opening rooflights into the single storey rear projection of the existing dwelling.

7.21 The previous application reference 24/00089/CLPD for a certificate of lawful permitted development for the 'Insertion of 2 no rooflights to south facing roof slope of existing single-storey rear projection; revised fenestration to south facing elevation of existing single storey rear projection; proposed single-storey rear extension partly replacing existing single-storey lean to wood store (part of original dwellinghouse)' was granted in May 2024.

7.22 The application seeks to install the two permitted rooflights in contradiction to the conditions laid out by of Class C of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 (amended) for the rooflights to be obscurely glazed and non-opening.

7.23 Having regard to all relevant material considerations, it is concluded that the proposal of the insertion of non-obscured, opening rooflight units, accords with the policies in the Local Plan and NPPF. Therefore, it is recommended that planning permission be granted in this instance.

8. **RECOMMENDATION – APPROVAL** subject to conditions to include the following

- any materials used in exterior work shall be of similar appearance to those used in the construction of the existing dwellinghouse.

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CONTACT OFFICER:

Enquiries about this report to **Andrea Dollard - Development Management Officer** Andrea.Dollard@huntingdonshire.gov.uk

From: [REDACTED]
To: [REDACTED]
Subject: RE: Planning Permission Consultation - 73 High Street Offord Darcy St Neots (ref 24/00905/HHFUL)
Date: 12 June 2024 09:24:04

The Parish Council discussed this application at its recent meeting and is **Neither for nor against the proposals**

-

Offord Cluny & Offord Darcy Parish Council

From: [REDACTED]
Sent: Friday, May 24, 2024 10:56 AM
To: [REDACTED]
Subject: RE: Planning Permission Consultation - 73 High Street Offord Darcy St Neots (ref 24/00905/HHFUL)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Installation of two rooflights to south facing roof slope of existing single-storey projection to rear.

Site Address: 73 High Street Offord Darcy St Neots

Reference: 24/00905/HHFUL

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If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

[REDACTED]
[REDACTED]

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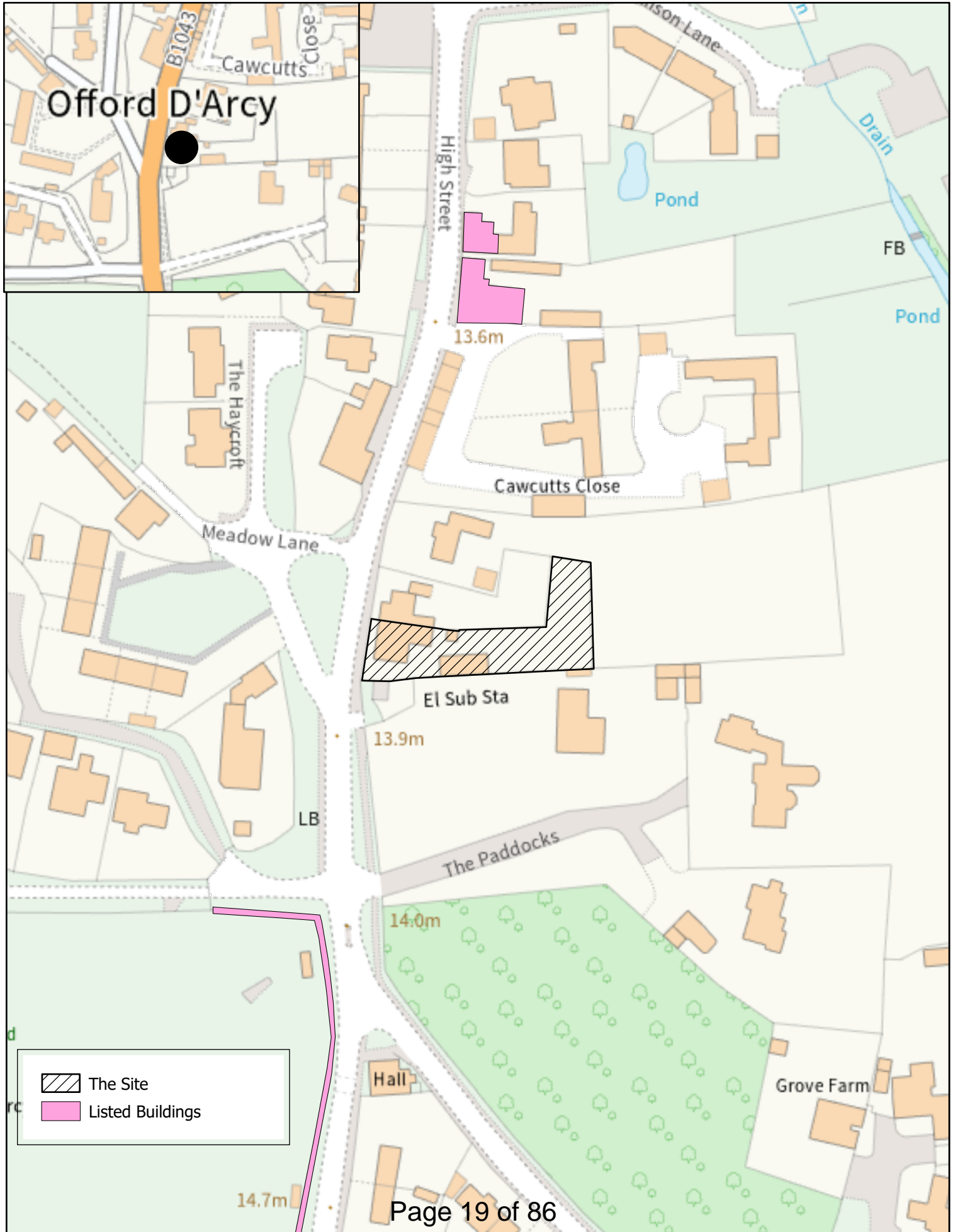
Development Management Committee

Application Ref: 24/00905/HHFUL



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Scale: 1: 500/1250@A3	Drawing Title: SITE LOCATION PLAN.
Date: DEC 2023	Project Title: MR & MRS JOHNSON, 73 HIGH STREET, OFFORD D'ARCY.
Drwg number: 20231090/1	Revision: —

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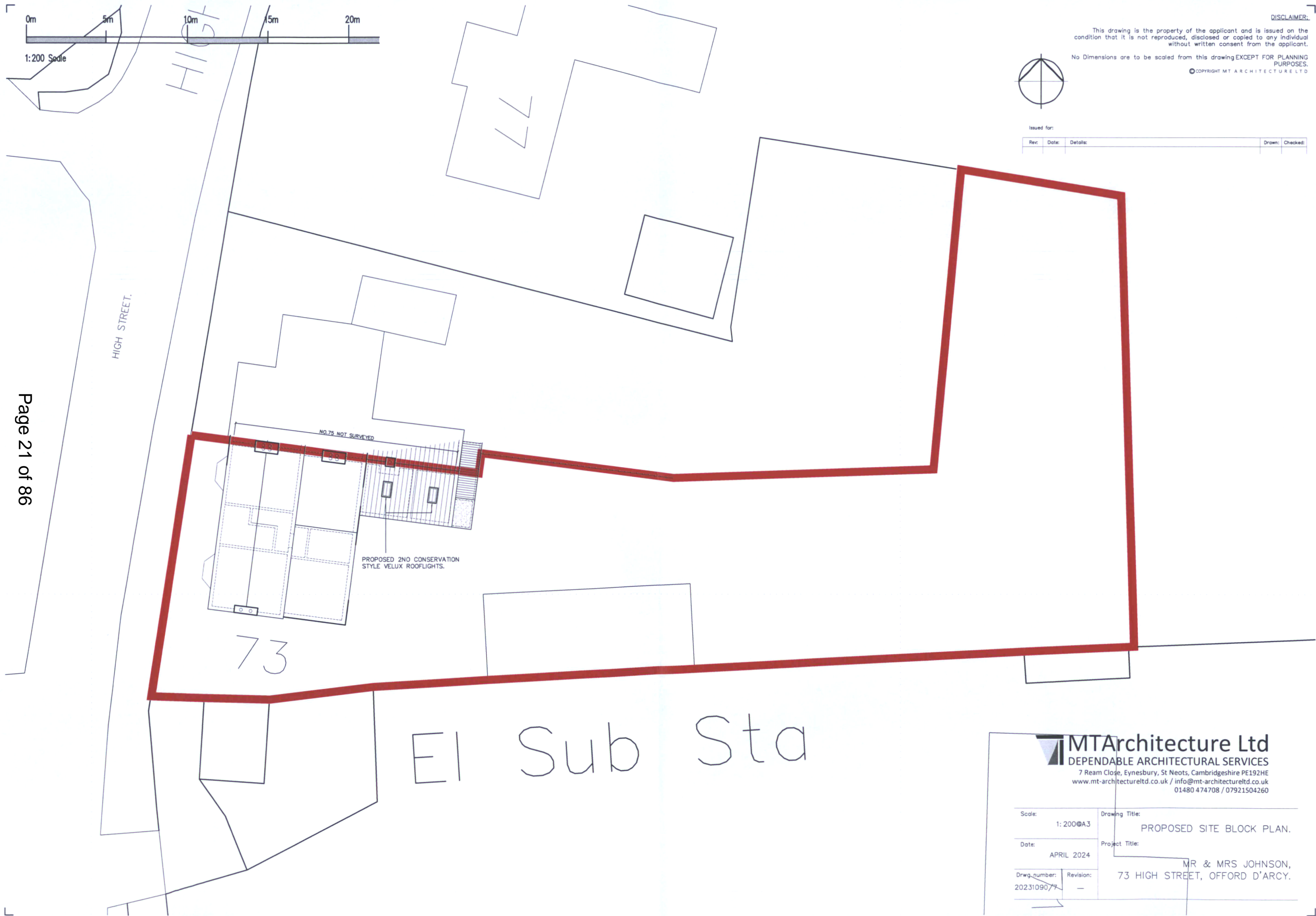
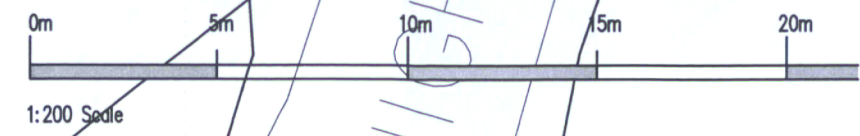
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NO.75 NOT SURVEYED

PROPOSED 2NO CONSERVATION STYLE VELUX ROOFLIGHTS.

73

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Date:	APRIL 2024	Project Title:	MR & MRS JOHNSON, 73 HIGH STREET, OFFORD D'ARCY.
Drwg. number:	20231090/7	Revision:	-

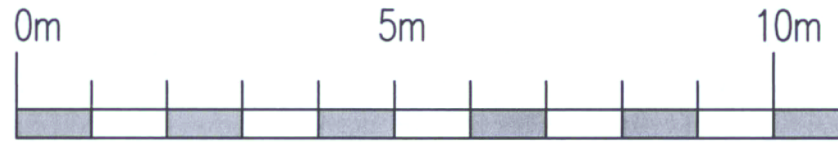
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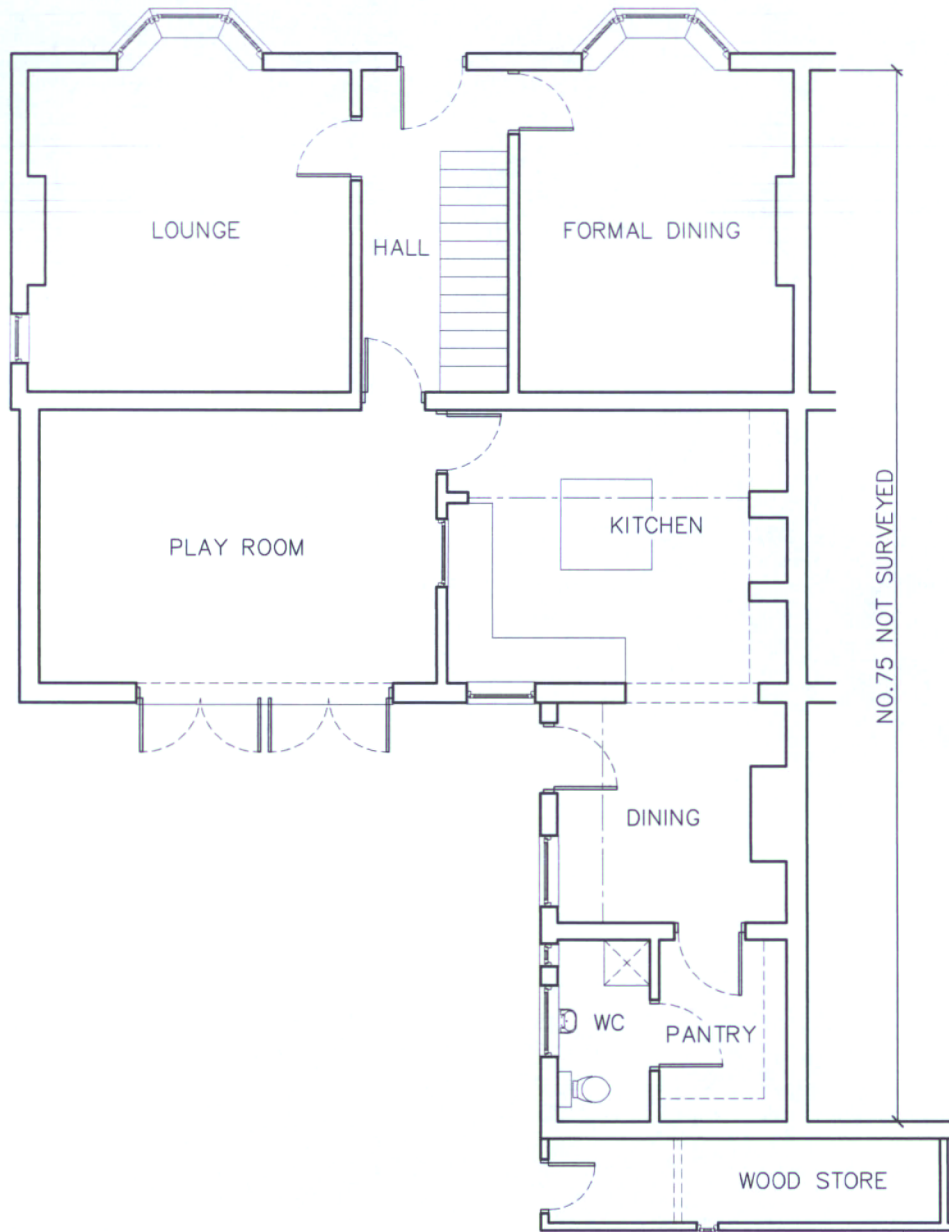
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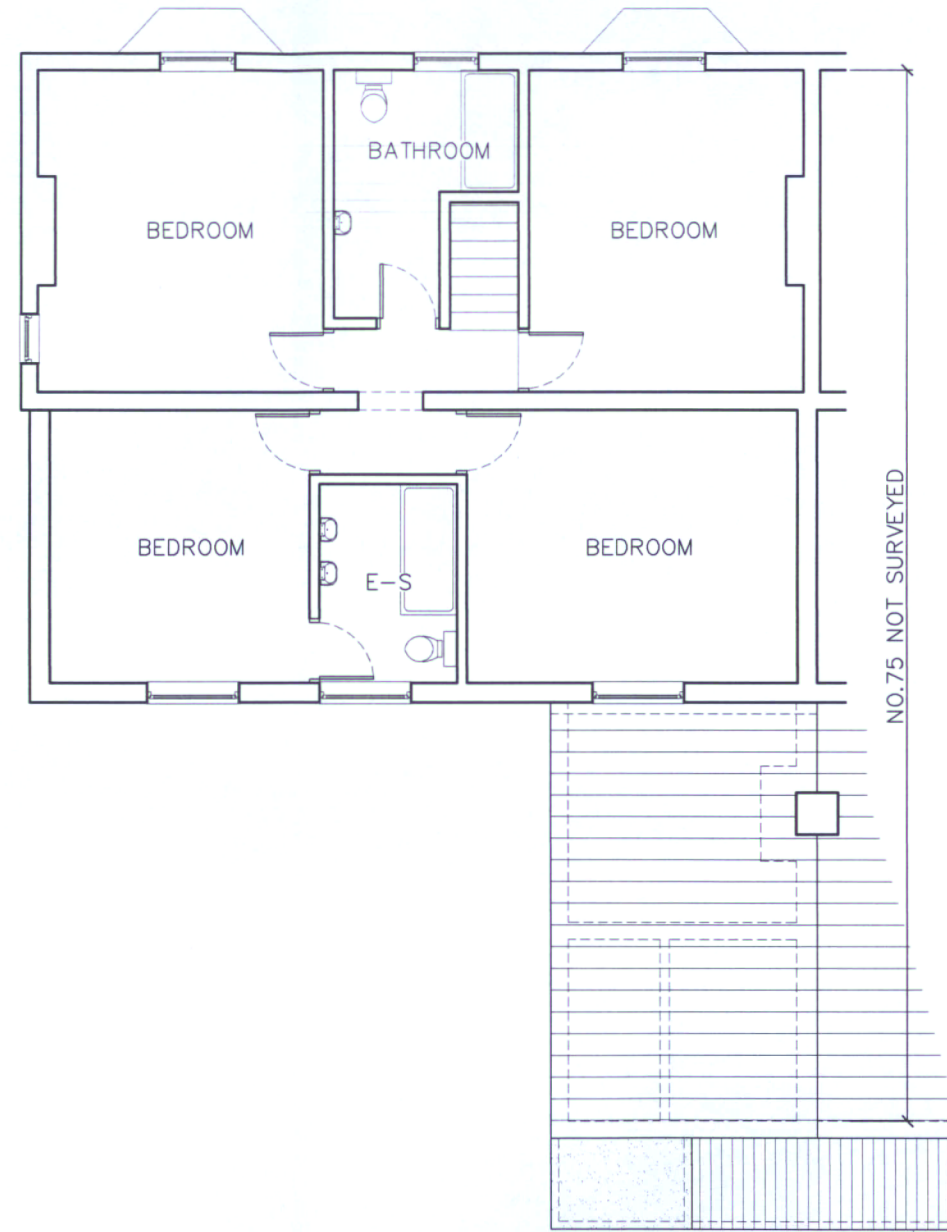


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EXISTING GROUND FLOOR GA PLAN.



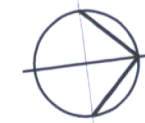
EXISTING FIRST FLOOR GA PLAN.

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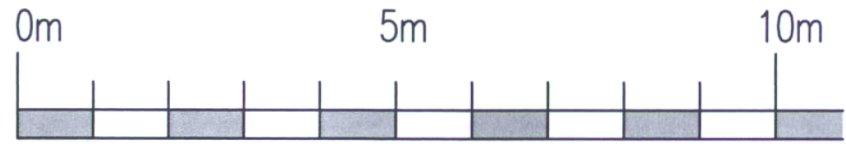
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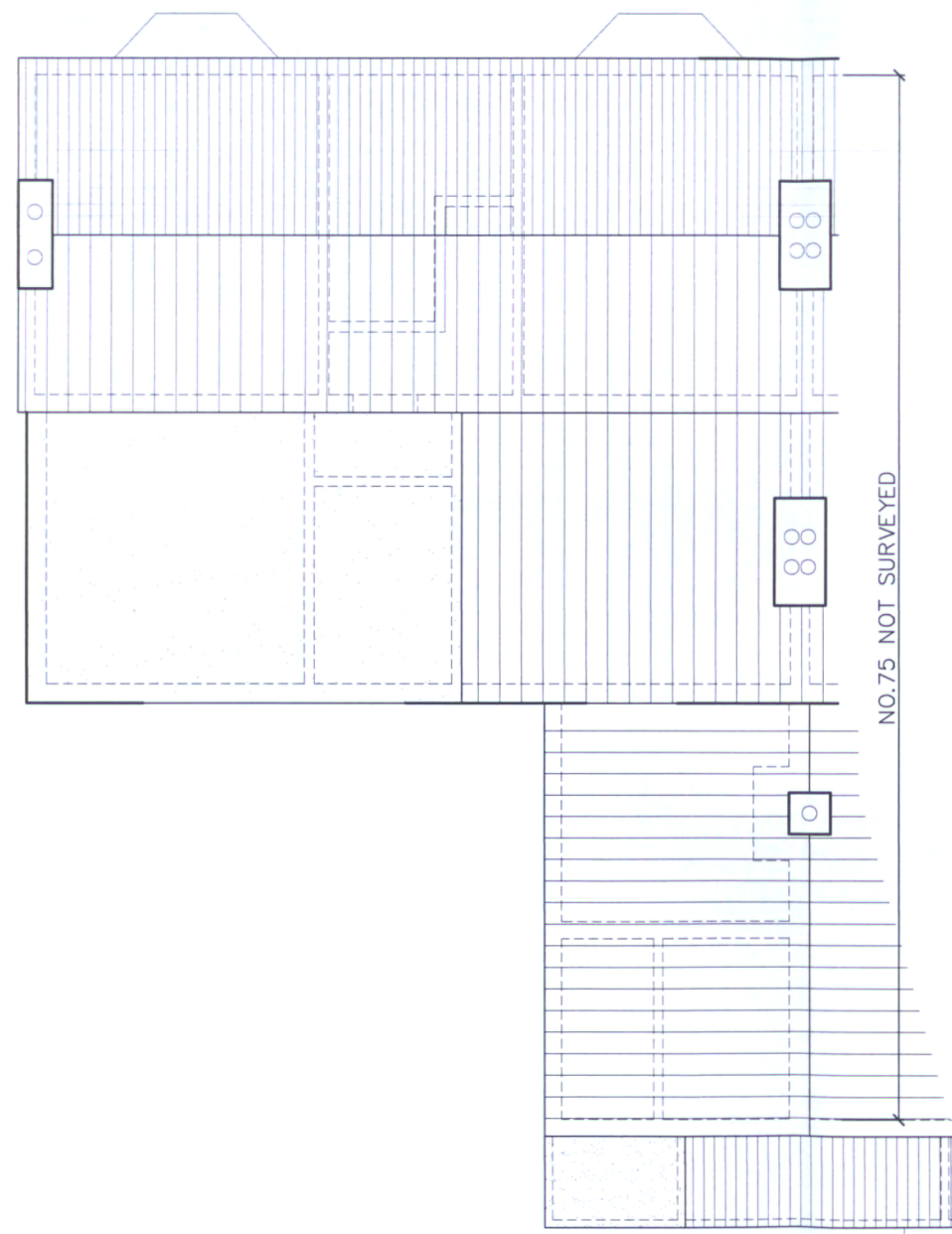


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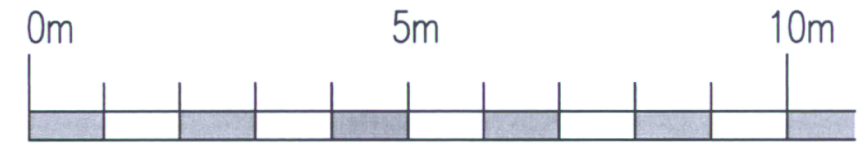
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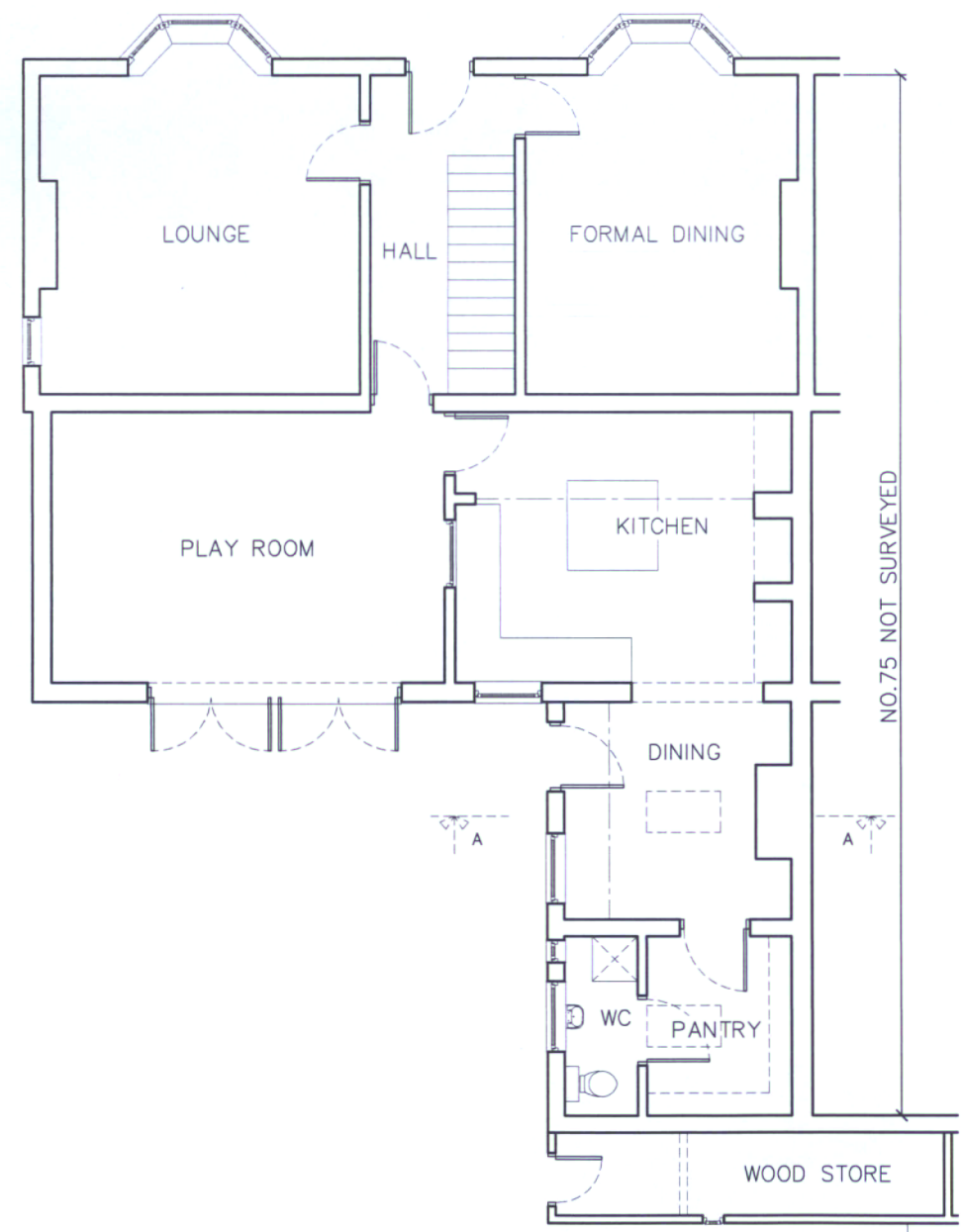
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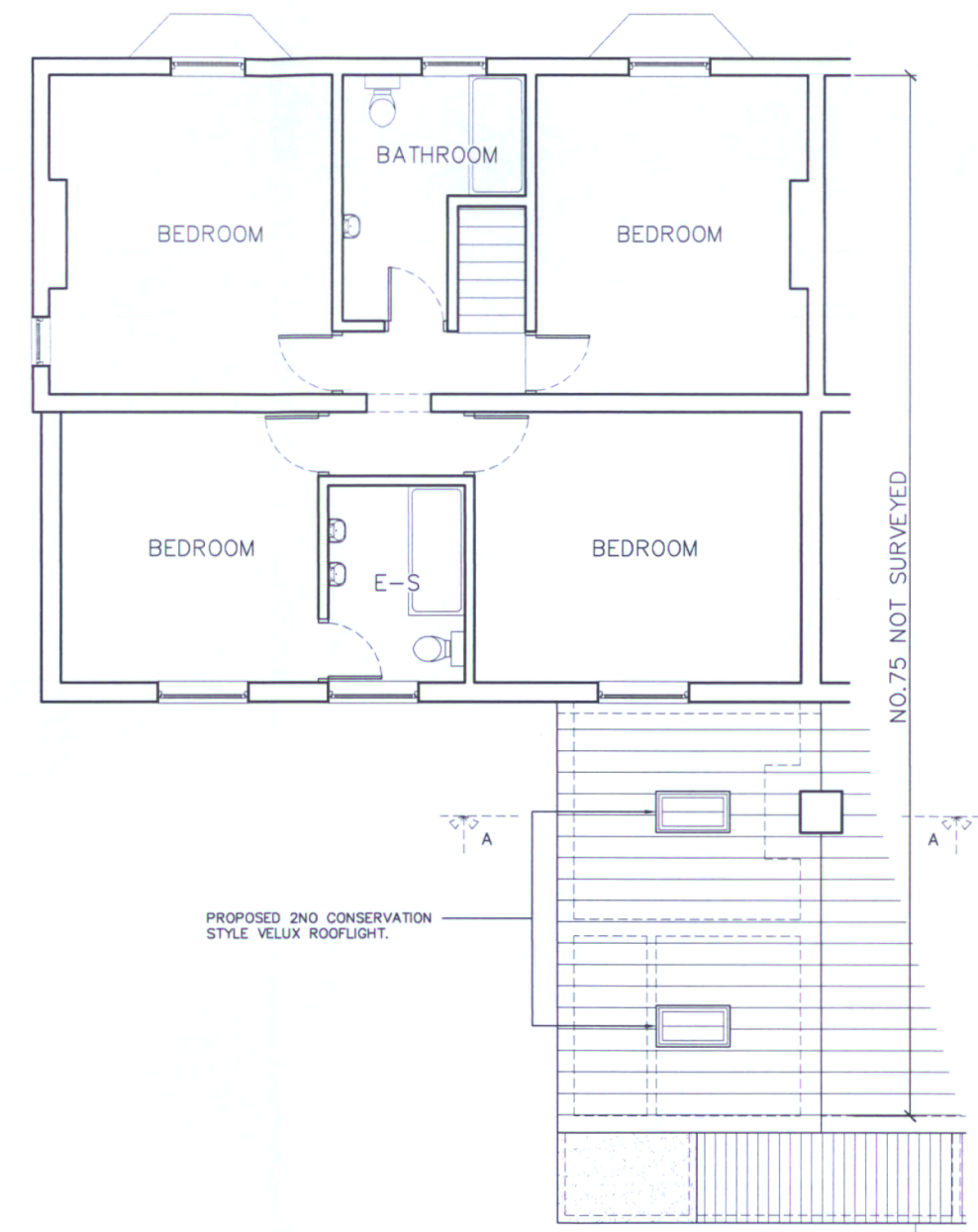


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PROPOSED GROUND FLOOR GA PLAN.



PROPOSED FIRST FLOOR GA PLAN.

PROPOSED 2NO CONSERVATION STYLE VELUX ROOFLIGHT.

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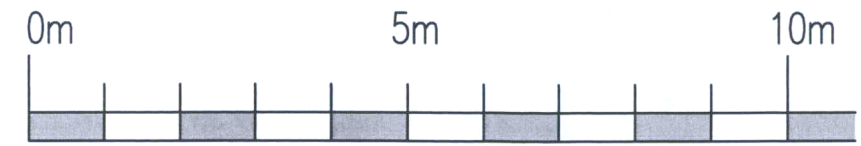
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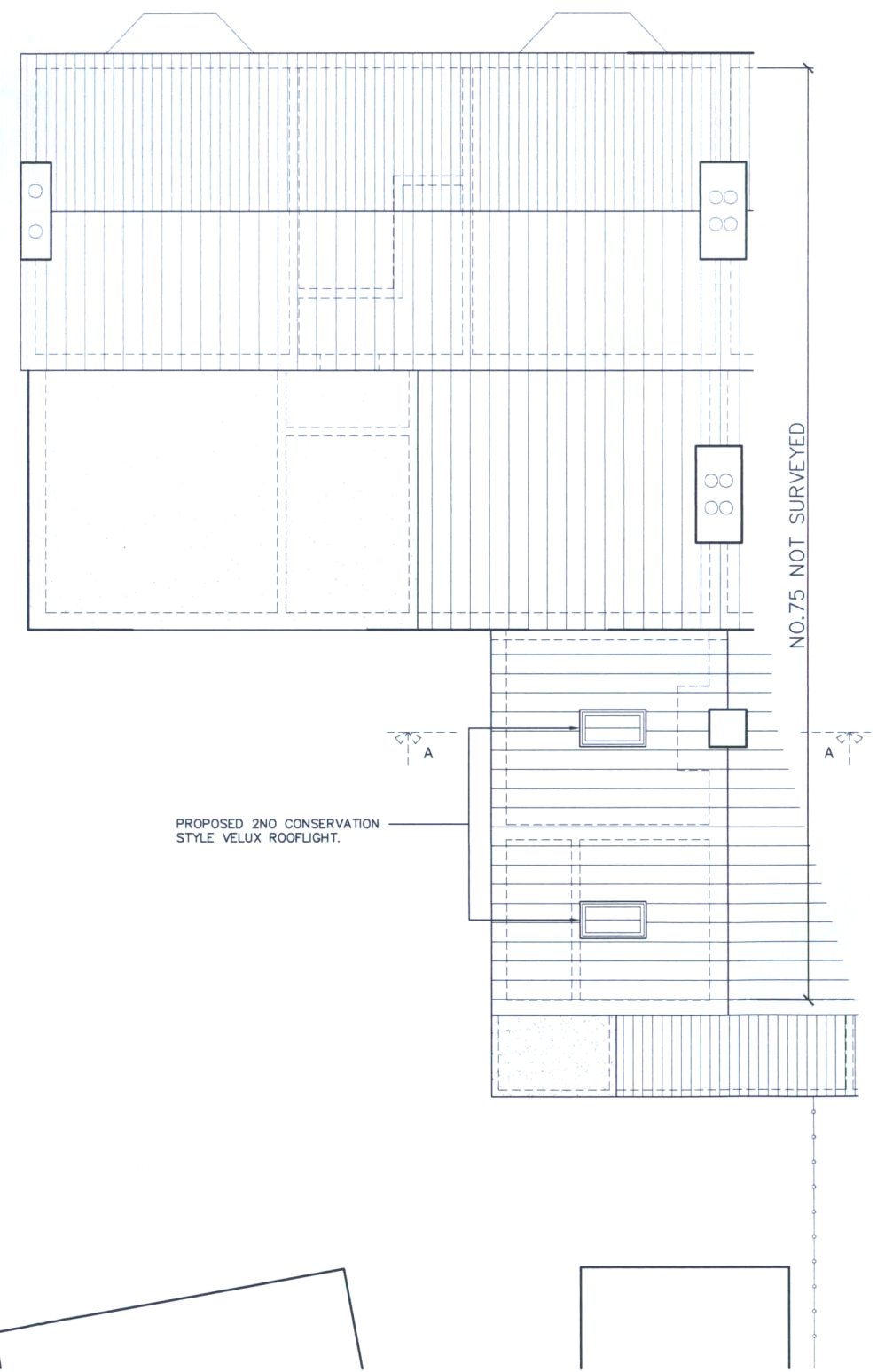


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EXISTING FRONT ELEVATION.



EXISTING SIDE ELEVATION.

EXISTING 27' PITCHED ROOF TO THE REAR PROJECTION.

EXISTING CORRUGATED WOOD STORE ROOF & FLAT ROOF (BEYOND).

EXISTING 1.8M HIGH CLOSE BOARDED FENCE (BEYOND).

EXISTING TWO STOREY FLAT ROOF EXTENSION.

EXISTING ORIGINAL PROPERTY GABLE END WALL.

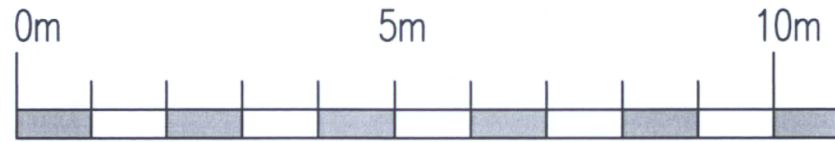
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EXISTING REAR ELEVATION.

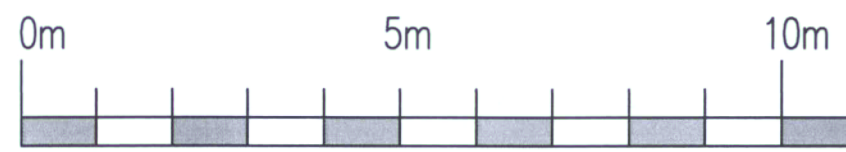
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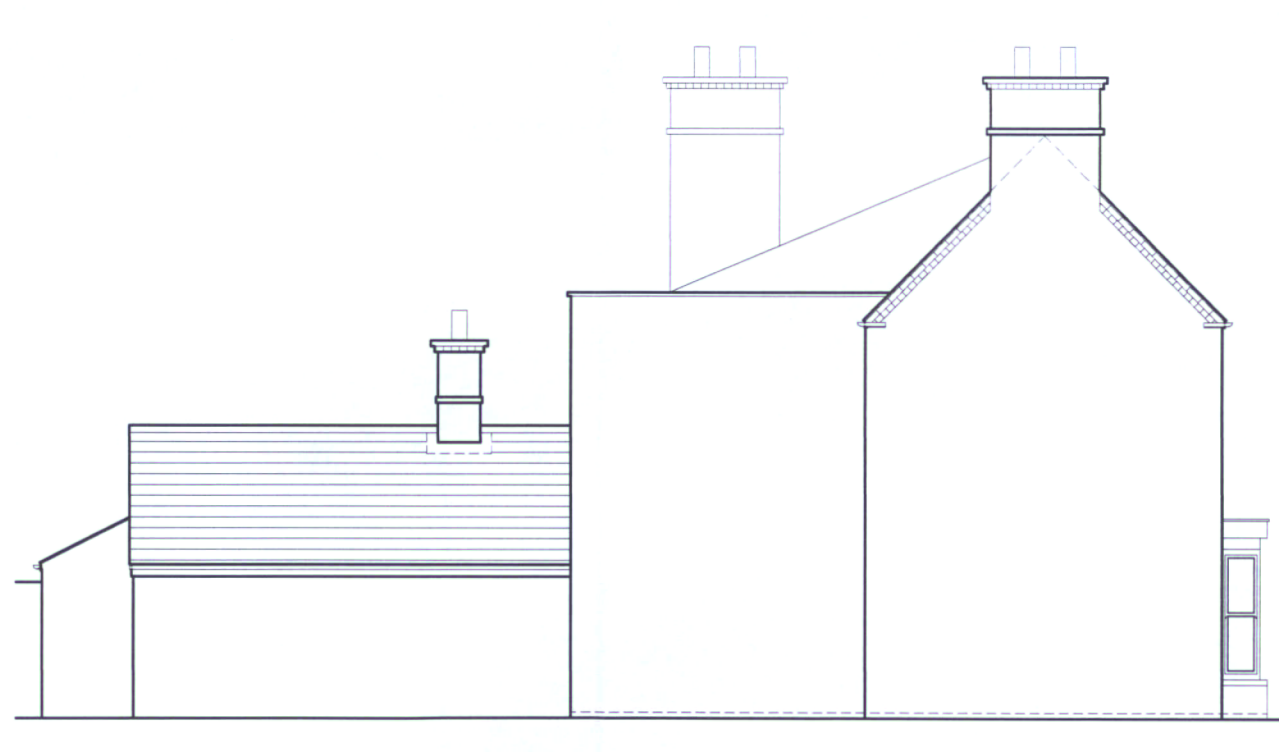
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PROPOSED REAR ELEVATION.

PROPOSED SIDE ELEVATION.

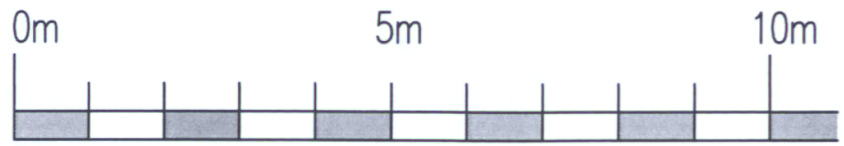
PROPOSED SECTION A-A.

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PROPOSED FRONT ELEVATION.

PROPOSED SIDE ELEVATION.

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DEVELOPMENT MANAGEMENT COMMITTEE 19th AUGUST 2024

Case No: 24/00926/FUL

Proposal: ERECTION OF A SELF-BUILD DWELLING FOLLOWING THE DEMOLITION OF THE EXISTING ATTACHED GARAGE.

Location: 12 PARKHALL ROAD SOMERSHAM HUNTINGDON
PE28 3EU

Applicant: MR STANCOMBE

Grid Ref: 536125 278102

Date of Registration: 23.05.2024

Parish: SOMERSHAM

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation of approval is contrary to the Parish Council recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The site comprises of a 0.05 ha rectangular shaped parcel of land which hosts No. 12 Parkhall Road, a 2 storey end terrace property with an attached single storey pitched roof garage. The site is surrounded by residential development and is situated in the built-up area of Somersham and approximately 150 meters from its main facilities and services.
- 1.2 The site is located within the Somersham Conservation Area and there are several listed buildings in the vicinity of the site. One the opposite side of the road to the east of the site No.21 and 23 Parkhall Road, and some located further down the street to the south of the site. The site is at lowest risk (Flood Zone 1) of flooding from river and sea flooding.

Proposal

- 1.3 The proposal seeks planning permission to demolish the attached side single storey garage and use the existing vehicle access to provide 2 tandem parking spaces at the side of No.12 for their use. Adjacent to this, it is proposed to erect a detached two storey,

three-bedroom dwelling with 2 car parking spaces on its frontage. The dwelling has been designed with some header and cill details, using brick materials and a chimney, to try and pick up on the character of the surrounding houses.

- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.
- 1.5 The application is supported by the following documents;
 - Design and Access Statement
 - Heritage Statement
 - Proposed drawings

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
 - LP1: Amount of Development
 - LP2: Strategy for Development
 - LP3: Green Infrastructure
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP8: Key Service Centres
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity

- LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and vehicle movement
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document (2017):
 - Developer Contributions SPD (2011)
 - Huntingdonshire Landscape and Townscape Assessment (2007)
 - Somersham Conservation Area Character Statement
 - Cambridgeshire Flood and Water SPD 2017
 - Huntingdonshire Tree Guidance Note 3
 - Annual Monitoring Report – Part 1 (Housing) 2019/2019 (October 2019)
 - Annual Monitoring Report – Part 2 (Non- Housing) 2018/2019 (December 2019)
 - RECAP CCC Waste Management Design Guide (CCC SPD) 2012
- 3.4 The National Design Guide (2021)
- * C1 - Understand and relate well to the site, its local and wider context
 - * I1 - Respond to existing local character and identity
 - * I2 - Well-designed, high quality and attractive
 - * B2 - Appropriate building types and forms
 - *M3 - Well-considered parking, servicing and utilities infrastructure for all users
 - * H1 - Healthy, comfortable and safe internal and external environment

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 No relevant planning history associated with the application site.

5. CONSULTATIONS

- 5.1 Somersham Parish Council - Objection. The proposal would be overdevelopment of the site and would result in the intensified use of the established access. The proposal is not in keeping with the character of the streetscene. The Parish also raised overlooking concerns to neighbouring properties.
- 5.2 Local Highway Authority – No objection. Recommended the imposition of several conditions in the interest of highways safety.

- 5.3 Tree Officer – No objection to the hedgerow removal.
- 5.4 HDC Conservation Officer- No objection. The local character of the Conservation area is predominantly of modern development interspersed with occasional older or historic buildings. There is no consistent urban grain or historic building line and the treatment of garden frontages varies widely. The garage makes no particular contribution to the significance of the conservation area and appears to be an incongruous addition to the terrace. Therefore I have no objection to its demolition. The construction of 14/14a Parkhall Road has added two large modern houses to the Conservation area close to the proposed development site. The proposed dwelling is sited to reflect the building line established by these dwellings and will be clearly separated from the existing alignment of the Edwardian Terrace. As such the proposed house would sit with the modern elements of the Conservation area rather than attempt to replicate the siting of historic buildings. This approach is acceptable and reflects the mixed general character and appearance of the Conservation area in this locality. The overall design, scale and massing of the proposed dwelling appear generally acceptable for a building within the conservation area. No objections to the application on heritage grounds. The character and appearance of the conservation area is very mixed in the locality and the proposed dwelling is likely to preserve it. Recommend materials be conditioned.
- 5.6 Ecology Officer- No objection. Recommends the imposition of a vegetation clearance compliance condition in order to protect any nesting birds and a landscaping condition.

6. REPRESENTATIONS

- 6.1 Objections have been received from 3 surrounding households to the proposal. The following concerns as summarised are raised:
- Parkhall Road is highly trafficked and has on street parking due to some properties lack of on plot parking, which reduces visibility and causes highway safety dangers.
 - Parkhall Road is on a school route and there is concerns the proposed parking would not have sufficient visibility.
 - The siting of the proposed dwelling is not in line with the adjacent terrace dwellings and therefore out of character.
 - The existing foul water sewage system experiences blockages, and the proposal would exasperate this.
 - Hedgerow removal would have a significant impact on biodiversity.
 - Overlooking, loss of light and overshadowing impacts to No.14 Parkhall Road and No.1 Meridian Close.

- Noise and light pollution impacts, particularly associated with increased vehicle usage and parking at the front of the property.
- The width of the proposed parking spaces is insufficient for those with disabilities or young children.
- Errors and inconsistencies in the submitted documents and drawings.
- The dwelling would obscure views from the adjacent Grade II property.
- The trees on the diagram are incorrectly labelled and in the incorrect location. Tree property ownership concerns.
- Significant negative impact on neighbouring property, as backed up by a third-party survey.

6.2 The following sections of this report aim to address material planning considerations raised by third party representations. A right to a view from a private property over another private property is not protected in English law and therefore is not a material consideration that can be taken into consideration when determining this planning application. Similarly the loss of property values is not a material planning consideration that can be taken into consideration. Furthermore, whilst Officers acknowledge third party representation in regard to the legal ownership of the trees, this is considered a civil matter and therefore will not be addressed in this report.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land:

Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

- 7.5 The main issues to consider as part of this application are:
- Principle of Development
 - Design, Visual Amenity and impact on the surrounding area and heritage areas
 - Residential Amenity
 - Highway Safety and Parking Provision
 - Flood Risk and Drainage
 - Trees
 - Biodiversity

Principle of Development

7.6 The application site is located within the built-up area of Somersham, which the adopted Huntingdonshire Local Plan to 2036 identifies as a Key Service Centre. Therefore, the relevant Policy in determining whether the principle of development is acceptable is LP8.

7.7 Policy LP8 of the Local Plan states that a proposal for development on a site which is additional to those allocated in this plan will be supported where it is located within a built-up area of a Key Service Centre. The application site is located within the built up area of the Key Service Centre of Somersham and is located approximately 150 meters north its centre which offers day to day facilities and services. Therefore given the site's residential location, in close proximity to the village centre, the principle of residential development on the site is acceptable and in accordance with Policy LP8, subject to consideration of the following material planning considerations.

Design, Visual Amenity and impact on the surrounding area and Heritage Assets

7.8 This application seeks to provide a new detached, two storey, three-bedroom dwelling to the north of No. 12 Parkhall Road, Somersham, and replacement tandem parking for No.12 following the demolition of their existing garage. The dwelling is designed with a traditional rectangular form, subservient rear element and with chimney, header and cill window detailing. The application site is located within Somersham's Conservation Area and is located opposite the Grade II Listed Buildings 21 and 23 Parkhall Road.

- 7.9 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.10 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 7.11 NPPF advice and Local Plan Policy LP 34 aligns with this statutory duty.
- 7.12 Section 12 of the National Framework (NPPF, 2023) seeks well designed development, noting that high quality, beautiful and sustainable buildings and places are fundamental to what the planning and development process should achieve.
- 7.13 The ten characteristics of good design are detailed in the National Design Guide (2020) whereby, the sections on context, built form and identity are relevant to this application.
- 7.14 Policy LP 11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context and has drawn inspiration from the key characteristics of its surroundings, including natural, historic and built environment, to help create distinctive, high quality and well-designed places, paying regard to the Huntingdon Design Guide (2017).
- 7.15 Furthermore, Policy LP 12 of the Local Plan states that new development will be expected to be well designed based upon a thorough understanding of constraints and appraisal of the site's context, delivering attractive, usable and long-lasting buildings and spaces, listing criteria relating to response to context, ease of getting around, well designed public spaces and sustainable design and construction methods.
- 7.16 This application seeks planning approval for the erection of a detached three-bedroom dwelling on land to the north of No.12 Parkhall Road, Somersham, and demolition of the existing garage building on site. With regard to the surrounding context of the site, 12 Parkhall Road is an end terrace dwelling of four Edwardian houses and opposite the application site is the former Manor Hall (Grade II Listed) known as No. 21 and 23 Parkhall Road. To the north of the application site are two large modern houses known as No.14 and 14a Parkhall Road. Given that the local character of the Conservation area is a mixture of modern development interspersed with occasional older or historic buildings, the

character and appearance of the Conservation area is very mixed in the locality.

- 7.17 Officers have considered the third party objections in regard to the uncharacteristic siting of the proposed dwelling, and harm to the surrounding area. The proposed dwelling is to be positioned on site set back from the road frontage approximately in line with the adjacent more modern properties of No.14 and No.14a Parkhall Road. This allows for a set back from the frontage of the older terrace properties, which is considered to be visually appropriate in this part of the streetscene, Parking is proposed to the frontage of the new dwelling, and whilst not ideal in visual terms, there are examples in Parkhall Road of properties parking on their site frontages therefore on balance it is not considered to be visually unacceptable or harmful to this streetscene context. The Conservation Officer has raised no concerns with the proposed siting, given there is no consistent urban grain or historic building line, and the treatment of garden frontages varies widely. The design, scale and mass of the dwelling, appears acceptable on this plot and in this Conservation streetscene context, subject to the proposed materials being conditioned. The dwelling has been designed to try and pick up design queues from surrounding dwellings, with the use of chimney, and header and cill window detailing.
- 7.18 The proposal seeks to demolish the garage that is attached to No.12 Parkhall Road. The garage makes no particular contribution to the significance of the Conservation area and appears to be an incongruous addition to the terrace. Therefore there is no objection to its removal, subject to a condition for making good the end of the terrace, which will be exposed after its removal.
- 7.19 Therefore the design, scale and massing of the proposed dwelling is considered to be acceptable. The character and appearance of this part of the Conservation area is very mixed and it is considered the proposed dwelling would integrate well with adjacent buildings and responds positively to its streetscene context in accordance with Local Plan Policies LP11, LP12, LP34 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act.

Residential Amenity

- 7.20 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.

Amenity of neighbouring properties

- 7.21 Nos. 12, 14, 21 and 23 Parkhall Road and No. 1 Meridian Close are the closest surrounding neighbouring residential properties

which are most likely to be impacted as a result of the proposed development.

- 7.22 As the proposed dwelling would have no openings on its proposed southern elevation facing No.12, and No.12 has no side openings on its northern elevation facing the proposed dwelling, there would be no harmful overbearing, overshadowing or reduced privacy impacts. Whilst the proposed dwelling would have 2 first floor rear bedroom windows which would allow oblique views across No.12's rear garden. Their rear garden is already similarly overlooked obliquely from the adjoining terrace windows. Therefore there would be no unacceptable additional resulting privacy impacts for this neighbour. Whilst the proposed property would extend beyond the rear building line of No.12, the approximate 4m separation, ensures there would be no unacceptable overbearing impacts.
- 7.23 With regard to the 2 storey residential house No. 1 Meridian Close located to the rear of the application site. This properties side elevation faces on to the rear boundary of the application site and it has no first floor side windows that face directly into the application site. Ground floor openings on the property facing on to the application site are screened by the intervening approximately 1.8m high close boarded fencing. The proposed dwelling would be sited (at its closest point) approximately 14 meters from the common boundary to the west with this neighbour. The resulting relationship and separation distance between the proposed and existing dwelling would ensure no unacceptable overbearing or overshadowing impacts would result for this neighbouring property in planning terms. The proposed dwelling would have 2 first floor bedroom windows on its staggered rear elevation facing the side elevation of this neighbouring property. The closest would have an approximate 14m separation to the common boundary and the other approximately 17m set back. Due to this proposed separation distance and the intervening boundary treatments there would be no unacceptable privacy impacts for this neighbouring property. Any oblique views to the rear garden area of this neighbour would be limited, and would not be considered unacceptable in planning terms and would be similar in nature to the first floor windows of the adjacent terrace. Given this, the proposed dwelling would not result in any unacceptable detrimental overbearing, overshadowing or overlooking impacts for the occupants of No. 1 Meridian Close.
- 7.24 Officers have considered the impact of the development on No.14 Park Hall Road and in particular the overlooking and loss of light concerns raised by residents. Whilst the proposed dwelling would be situated to the south of No. 14, this adjacent dwelling has no side windows facing the application site. Whilst the proposed property extends further beyond the rear elevation of No.14, the separation distance between the 2 properties and projecting gable design of the new dwelling would ensure that there would be no

unacceptable overbearing or overshadowing impacts in planning terms for these neighbouring residents. The first-floor rear bedroom closest to the neighbouring boundary would allow oblique views into the rear garden of No.14, however oblique overlooking already occurs from surrounding properties. Whilst this proposal would increase the existing overlooking of this neighbour's garden, the positioning of the window and the separation distance between the properties would ensure it would not be considered unacceptable in this residential setting. The other first floor bedroom window is set 3m back from the projecting rear gable and closest first floor window so its impact on overlooking is significantly less. Therefore it is not considered that the proposed dwelling would result in any unacceptable detrimental impacts on the residential amenity of this neighbour in terms of overbearing, overshadowing or overlooking impacts. In respect of the proposed frontage parking and the impact of this on the adjacent property in terms of noise and light impacts. It is not considered the use of the site frontage for 2 car parking spaces to serve this new dwelling would result in harmful or unacceptable noise or light pollution impacts for this neighbour.

- 7.25 As the proposed dwelling would be separated by approximately 20 metres and across the road from the principal elevations of No.21 and No.23 Parkhall Road, it is considered the proposed dwelling would not result in any unacceptable detrimental overbearing, overshadowing or overlooking impacts for the occupants of these properties.

Amenity for future occupiers

- 7.26 It is considered the proposed dwelling would provide a high standard of amenity for future residents. The dwelling has been designed to meet the nationally described space standard for a 3-bedroom 4-person dwelling, it would provide adequate outdoor private rear amenity space and at the rear would be screened by 1.8m high close boarded fencing to provide privacy. All proposed habitable rooms of the property would be served with windows which offer acceptable levels of daylight and sunlight.
- 7.27 Taking the above factors into consideration, the proposal is therefore considered to be acceptable in residential amenity terms and in accordance with Policy LP14 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework in this regard.

Highway Safety and Parking Provision

- 7.28 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.

- 7.29 The existing access which serves No. 12 Parkhall Road would now also serve as the access for the proposed dwelling. Parkhall Road is adopted by the Local Highways Authority and is subject to a 20 mph speed limit.
- 7.30 The proposal seeks to retain the existing vehicle access off Parkhall Road and separate it into 2, to provide 2 tandem off-street parking spaces for the host dwelling and also widen the existing access to accommodate car parking for 2 vehicles on the frontage of the new dwelling. There is no change to the existing access except for the widening of it. The proposal has been amended during the course of the application to provide 2 separate vehicle accesses for each property rather than having a shared frontage access arrangement. Whilst the access does not have vehicle to vehicle visibility splays similar to other single dwellings, the accesses would have the benefit of achieving 2.0m x 2.0m pedestrian visibility splays. The Local Highway Authority do not consider the widening and intensification of the existing access from serving 1 dwelling presently, to the 2 dwellings proposed, would result in any unacceptable highway safety dangers in this location. The concerns raised by objectors in terms of on street parking etc are acknowledged, however this is an existing situation over which this application has no control. 2 on plot parking spaces are to be provided for the existing and proposed dwelling, so it is not considered that future residents would not add to the pressure on street parking in the vicinity of the site. Therefore whilst third party objections raised in respect of highways safety have been considered, Officers and the Local Highway Authority considers that there would not be any unacceptable highway safety issue or parking issues, subject to the imposition of conditions.
- 7.31 Whilst the proposed development would intensify the use of the access, the proposed development would achieve the appropriate pedestrian visibility splays and alleviate on-street parking by providing off-street parking for four vehicles. Officers acknowledge third party representations in regard to the suitability of the proposed parking for disabled residents or those with children. The vehicle parking for the proposed dwelling would be 2.5 meters by 5 meters which is a standard measurement for vehicle parking, in line with our design guide. HDC do not have a parking policy to impose the provision of disabled parking on single residential dwellings, therefore the size and layout of the parking spaces for the existing and proposed house are considered to be acceptable and larger spaces could not be justified in this instance. Additionally, the submitted block plan denotes covered storage for bicycles for the host and proposed dwelling which complies with the aim of encouraging the use of sustainable transport modes, as per Policy LP 16 of Huntingdonshire's Local Plan to 2036. Should the development be permitted a condition, seeking the elevational, floor plan and material details of the cycle store is recommended.

7.32 The proposal is therefore considered to be acceptable in highways safety and parking terms in accordance with Policy LP 17 of Huntingdonshire's Local Plan to 2036.

Flood Risk and Drainage

7.33 National guidance and Policy LP5 of the Local Plan to 2036 seeks to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 165-175 of the NPPF (2023)).

7.34 The application site is within Flood Zone 1 (at low risk from river and sea flooding), based on Environment Agency Floods Maps and at low risk of ground water flooding per the Strategic Flood Risk Assessment 2017. Given this and the site is less than 1 hectare in size, the submission of a flood risk assessment, sequential and exceptions tests for flooding are not required in accordance with Local Plan Policy, the NPPF and NPPG.

7.35 The submitted application form states surface water will be disposed of through soakways and foul water will be discharged into sewer mains. As an infill dwelling in an established residential area there will be existing water and foul drainage that this additional dwelling can connect into. Connection applications are outside of the planning process and will require the applicant to contact the relevant utility service provider to secure these connections and this will also be dealt with through the Building Regulations.

7.36 Therefore the proposal is considered to be acceptable with regard to flood risk and drainage in accordance with Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036 and Section 14 of the National Planning Policy Framework in this regard.

Biodiversity and Impact on Trees

7.37 Paragraph 180 of the NPPF (2023) states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan dovetails this and requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible.

7.38 Additionally, Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland,

hedge or hedgerow of value that would be affected by the proposed development.

- 7.39 Given the application site primarily comprises of amenity garden grassland, hard standing and a 5 metre long hedgerow on the eastern boundary, the site is considered to be of low ecological value. No trees are present within the site; however, the proposal would require the removal of the front boundary hedgerow and shrubbery to the northern boundary to facilitate the development. The Arboricultural and Ecology Officers were consulted as part of the application and have raised no objections to the removal of the hedgerow and shrubbery. To mitigate the removal of the hedgerow the imposition of a landscaping condition on any granted consent is recommended. Officers recommend that replacement planting should use native species. Furthermore, the Ecology Officer recommends the imposition of a vegetation clearance compliance condition in order to protect any nesting birds.
- 7.40 Given the limited habitat value of the site, the proposal would not result in adverse impacts on biodiversity and geodiversity. Subject to the imposition of conditions, the proposal is considered to accord with the objectives of Policy LP30 and LP31 of Huntingdonshire's Local Plan and Section 15 of the National Planning Policy Framework in this regard.
- 7.41 As of the 2nd April 2024 a mandatory 10% Biodiversity Net Gain (BNG) was required to be secured on small sites, such as this. Evidence has been submitted which states the application falls within the self-build exemption. The evidence confirms the applicant's have had the primary input into the final design and layout of a house and would occupy the proposed dwelling themselves. Officers are satisfied the proposal is exempt from a mandatory net gain as the development is self-build. A condition is recommended to ensure the property would be a self-build property, as it is on this basis only that 10% BNG is not to be secured.

Accessible and Adaptable Homes

- 7.42 Policy LP25 of the Local Plan to 2036 requires proposals that include housing to meet the optional Building Regulation requirement M4(2) "Accessible and adaptable dwellings" unless it can be demonstrated that site specific factors make this unachievable. A condition is recommended to be imposed upon any consent to ensure that the dwelling is built in accordance with these standards and maintained for the life of the development.

Water Efficiency

- 7.43 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G of the

Building Regulations. A condition is recommended to be imposed upon any consent to ensure that the dwelling is built in accordance with these standards and that they are maintained for the life of the development.

Developer Contributions

Wheeled Bins

7.44 Part H of the Developer Contributions Supplementary Planning Document (SPD) (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking to secure the provision of wheeled bins has been submitted as part of the application. The proposal accords with Policy LP4 of the Local Plan and the Developer Contributions SPD (2011).

Community Infrastructure Levy (CIL)

7.45 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Conclusion

7.46 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

7.47 The proposal seeks to demolish the attached garage and erect a detached three-bedroom two storey dwelling with associated parking to the north of No.12 Parkhall Rd, Somersham to serve this existing property.

7.48 The proposed development would contribute to the District's housing supply as a windfall site. The site is within the built up area of the sustainable Key Service village of Somersham.

7.49 It is considered the proposed dwelling would integrate well with adjacent buildings and would respond positively to its context as the character and appearance of the Somersham Conservation Area.

7.50 The proposal would also be acceptable in regard to highway safety, flood risk, residential amenity, trees and biodiversity.

7.51 Having regard to all relevant material considerations, it is concluded that the proposal would accord with local and national planning policy. Therefore, it is recommended that planning permission be approved.

8. RECOMMENDATION – APPROVAL subject to the following conditions regarding:

- Time limit
- Approved plans
- Self build dwelling
- Materials
- Details of making good the end wall of the terrace
- Cycle storage details to be submitted
- Removal of permitted development rights for gates
- Access laid out and constructed with access specification
- Parking to be retained in perpetuity
- Visibility splays
- Access drainage
- Metalled access surface
- Hard and Soft Landscaping
- Building Regulations M4(2) “Accessible and adaptable dwellings”
- Document G “water efficiency” compliance.
- Vegetation clearance outside of bird nesting season.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Charlotte Dew Senior Development Management Officer – charlotte.dew@huntingdonshire.gov.uk**

From: DevelopmentControl
Sent: 09 July 2024 13:46
To: DevelopmentControl
Subject: Comments for Planning Application 24/00926/FUL

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 09/07/2024 1:45 PM [REDACTED]

Application Summary

Address: 12 Parkhall Road Somersham Huntingdon PE28 3EU
Proposal: Erection of dwelling following the demolition of the existing attached garage.
Case Officer: [REDACTED]

[Click for further information](#)

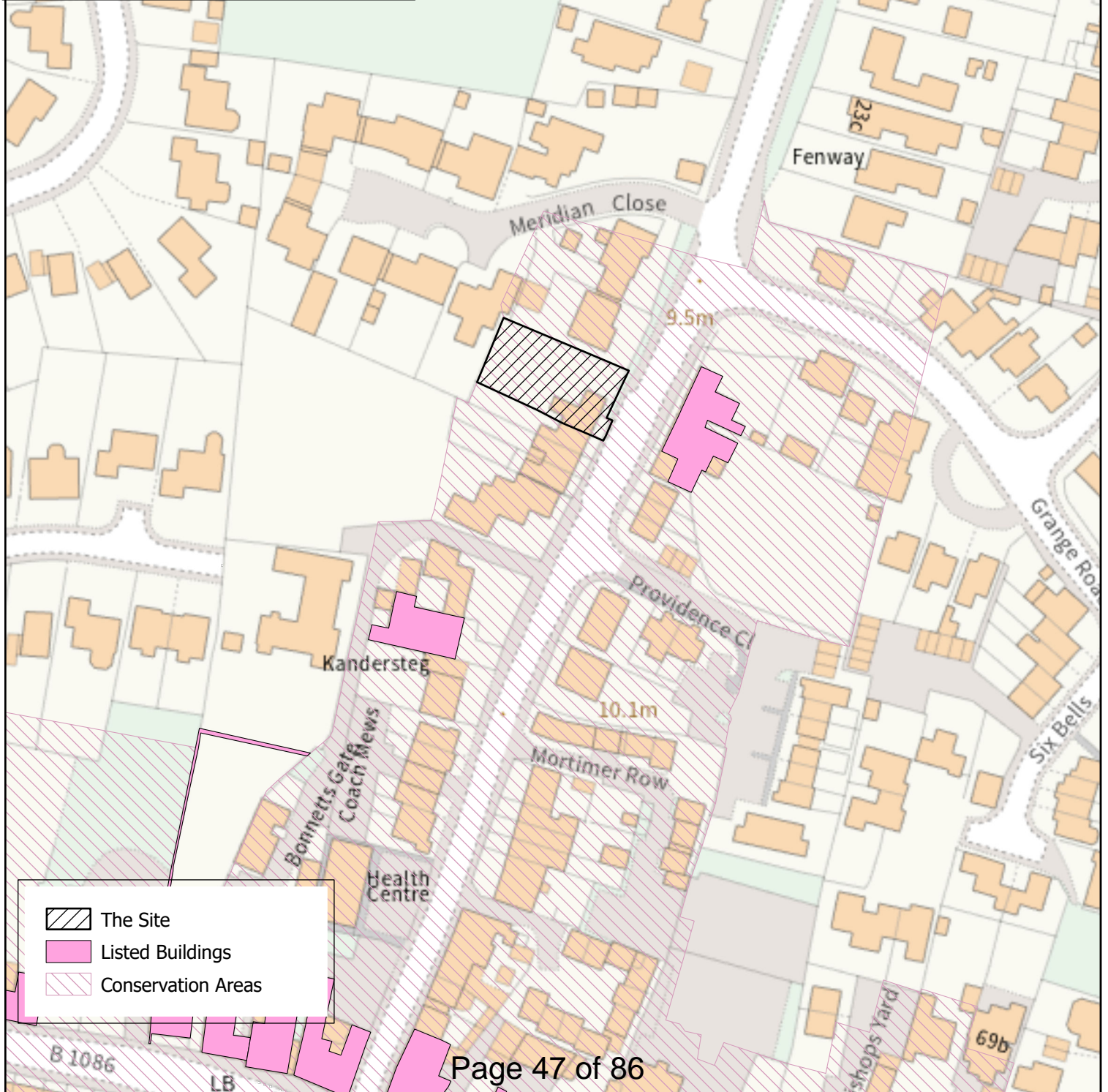
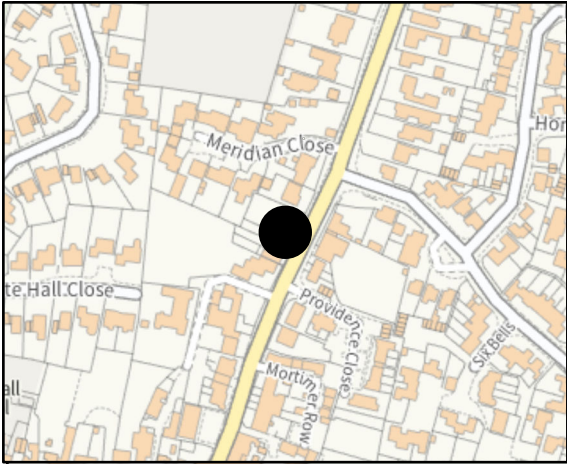
Customer Details

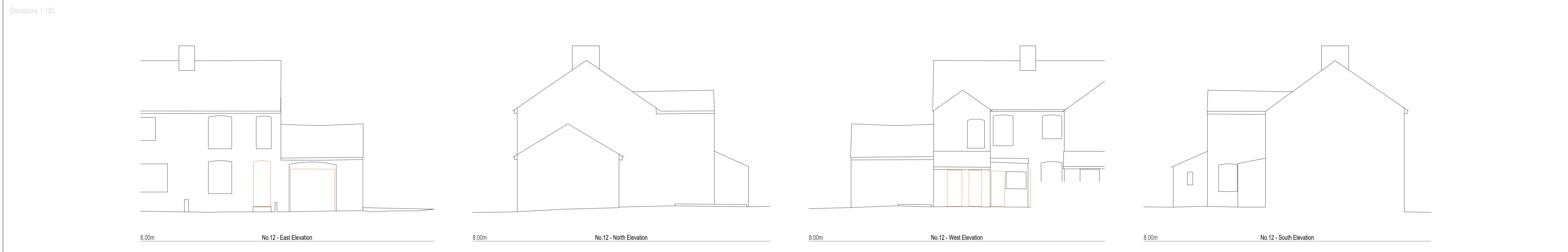
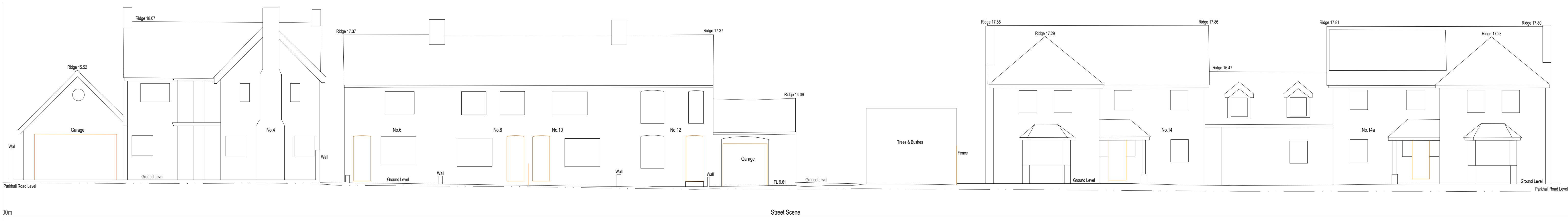
Name: [REDACTED]
Email: [REDACTED]
Address: [REDACTED]

Comments Details

Commenter Type: Town or Parish Council
Stance: Customer objects to the Planning Application
Reasons for comment:
Comments: Further to the meeting held on the 8th July, Somersham Parish Council agreed to object to this application.
The proposed works would result in overdevelopment of the site, with increased traffic entering and exiting the address.
The proposal is not in keeping with the existing street scene, and also raises issues regarding privacy by overlooking neighbouring properties.

Kind regards





EP	- Electricity Pole
EW	- Eave Window
FL	- Floor Level
GL	- Gully
IC	- Inspection Cover
KO	- Kerb Outer
LP	- Lamp Post
MC	- Manhole Cover
MP	- Marker Post
SV	- Stop Valve
TIC	- Telecom Inspection Cover
TP	- Telegraph Pole
UL	- Unable To Lift Cover
WA	- Water Meter
10.00	- Top Of Fence/Wall Level
10.00	- Overhead Electricity Cable Level
10.00	- Overhead Telephone Cable Level

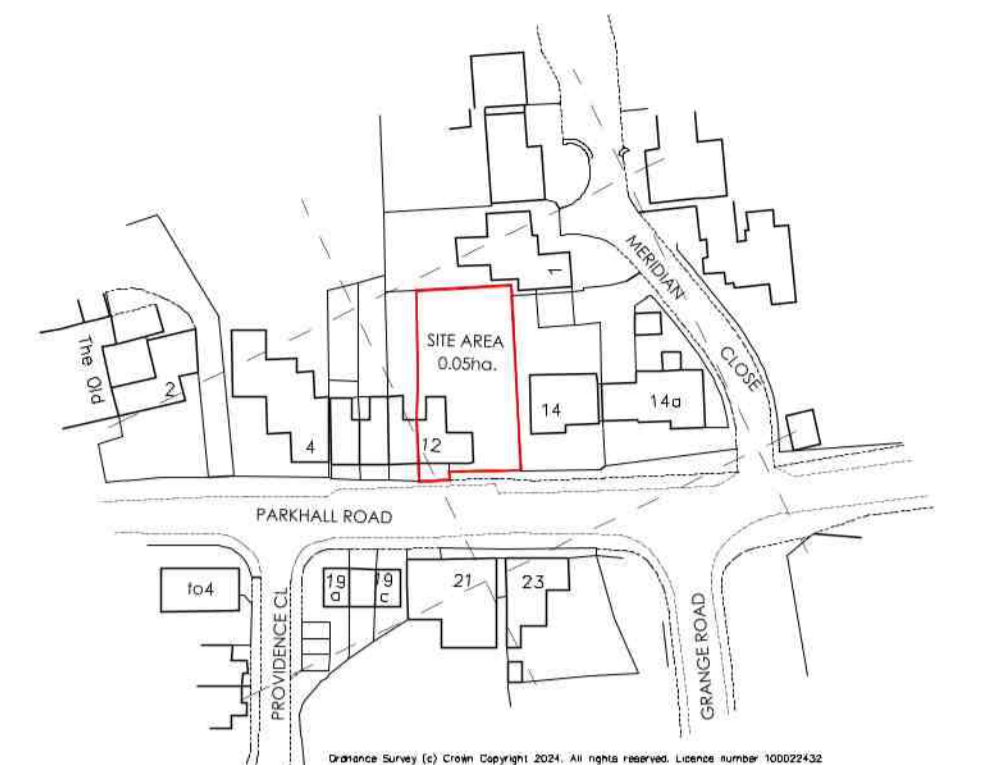
Ordinance Survey Data Shown Plotted in Orange.
 Tree Species Have Been Identified To The Best Of Our Knowledge
 Indication Of The Species Must Be Sought From An Arboriculturist.
 All Survey Data Shown Has Been Orientated To National Grid With All
 Levels Related To OS Datum Unless Otherwise Stated.
 The Survey Symbols Used To Represent Tree Species Gives An
 Average Crown Dimension Only.
 Symbols Shown On This Drawing Relating To Services Above And Below
 Ground Are For Indication Only.
 All Survey Data Shown Has Been Orientated To National Grid With All
 Levels Related To OS Datum Unless Otherwise Stated.
Chartered Surveyors
The Loft
 Unit 3A
 Norm Road
 Bicken Industrial Estate
 Kirtlington
 Cambridgeshire
 PE28 0LW
 Tel: 01455 212750 Fax: 01455 405456
 Internet: www.loft-geomatix.co.uk Email: info@loft-geomatix.co.uk
 Registered in England and Wales No. 4500757
 No. 12 Parkway Road, Somersham, PE28 3EU
 Street Scene, Elevations & Topographical Survey
 As Surveyed 05.01.2024.
 Surveyed By: Ian Stancombe
 © Crown copyright and database rights (2024) OS 1000 7560
 Date: 17.01.2024 Drawing Number:
 Scale: 1:1000 @ A0
 Drawn By: Adam Newman
 Checked By: Adam Newman
 RICS 1707277 Adam Newman
ASC
Associated Surveying Consultants
ASC.24.035

Legend

- Tarmac
- Grass
- Paving Slabs
- Pavoiurs
- Existing buildings to be demolished
- Existing trees to be retained with tree root protection areas.
- Dwelling access point
- Bin storage area
- 1.2x1.8m LOCKABLE BICYCLE SHEDS
- 3 WHEELIE BIN STORAGE AREA
- MAX. 1in12 RAMP AND LANDING TO PROVIDE LEVEL ACCESS INTO PRINCIPLE ENTRANCE
- EXISTING SPOT LEVELS
- PROPOSED GROUND LEVELS
- PROPOSED HEDGE PLANTING



PROPOSED STREET SCENE



Location Plan 1:1250



Page 49 of 86

NB PARKING FOR No.12 AS EXISTING		
REV	DATE	BY REVISION NOTES
B	02/07/24	NFM Parking revised following Highway comments
A	18/04/24	LJ

Suite 2, Clare Hall,
St Ives Business Park,
Parsons Green,
St Ives,
Combs, PE27 4WY

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Web: www.planningandarchitecture.co.uk

PARTNERS
in PLANNING
and ARCHITECTURE

PROJECT
**PROPOSED DWELLING ADJACENT
No.12 PARKHALL ROAD,
SOMERSHAM,
CAMBRIDGESHIRE. PE28 3EU**

CLIENT
MR. I. STANCOMBE

DRAWING TITLE
PROPOSED BLOCK PLAN

DRAWN BY NFM	SCALE 1:200 @ A1
DATE 24/01/24	SCALE 2.0 4.0 6.0 8.0 10.0 12.0
DWG. No. 23-40-200	REV. B



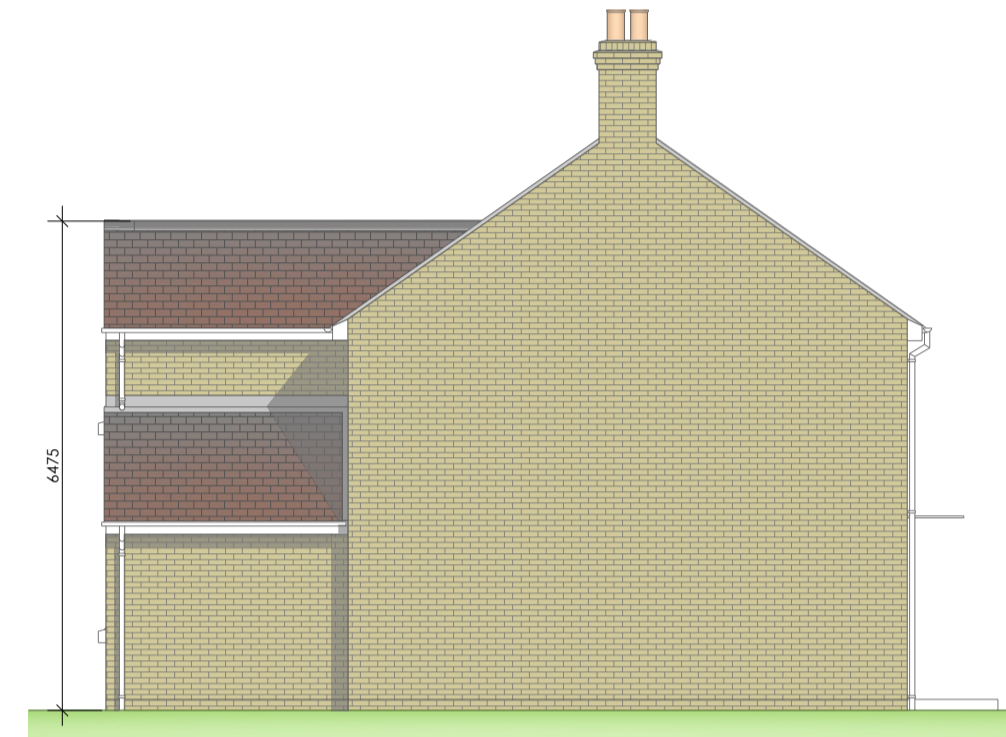
Front (East) Elevation



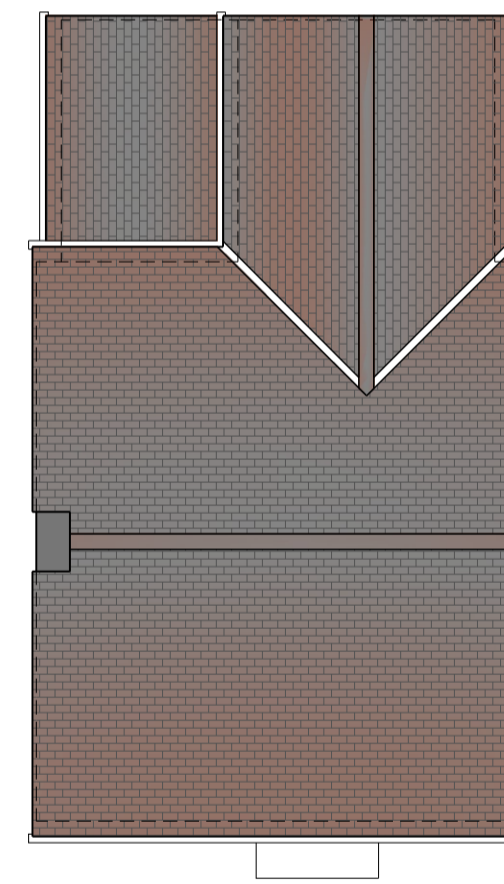
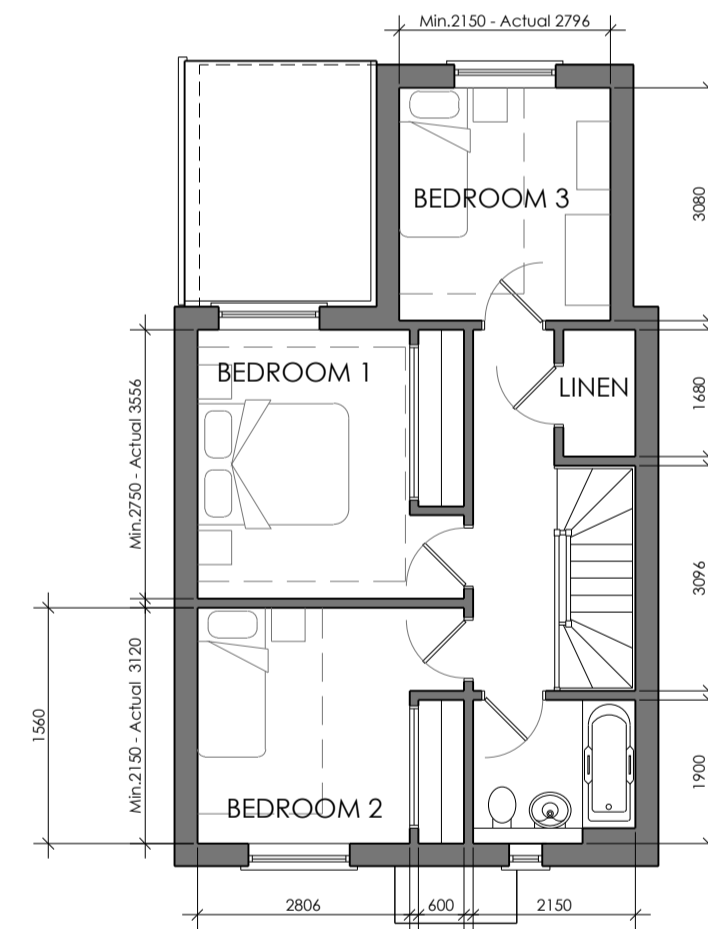
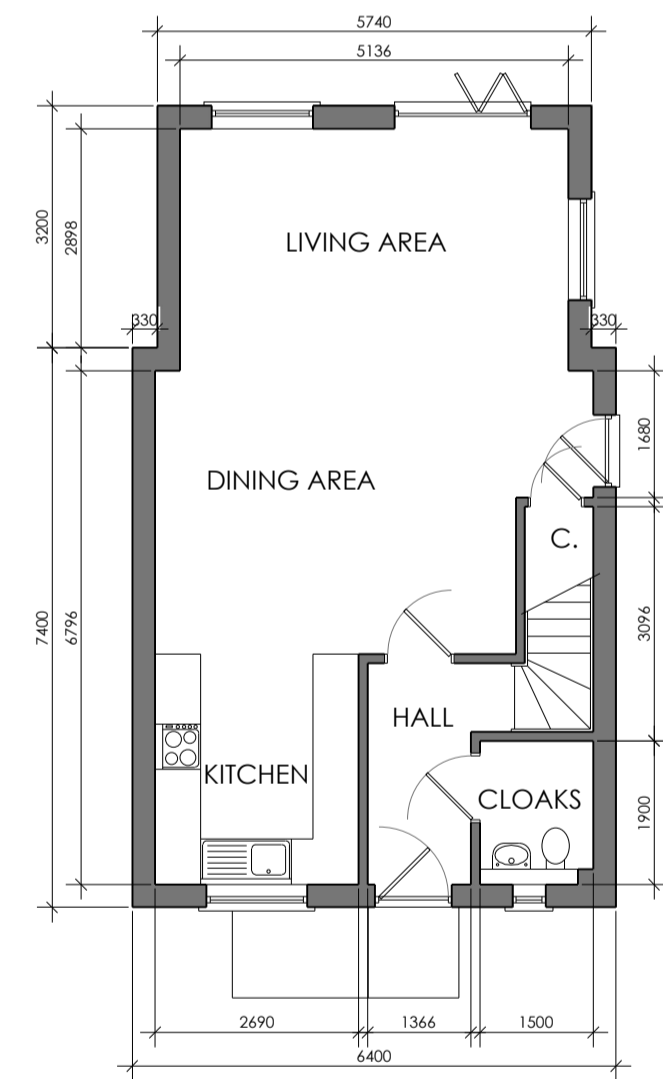
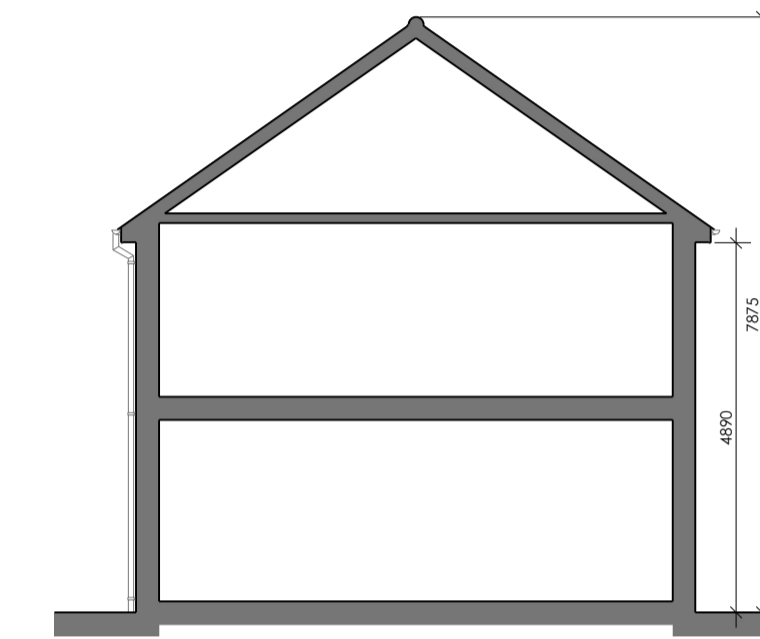
Side (North) Elevation



Rear (West) Elevation



Side (South) Elevation



ACCOMMODATION SCHEDULE All figures in square metres											
Number of bedrooms (by person)	Number of bedrooms	2 Storey		Built in storage		Bedroom 1		Bedroom 2		Bedroom 3	
		Required	Provided	Required	Provided	Required	Provided	Required	Provided	Required	Provided
3	4	84.00	104.25	2.5	3.55	11.50	12.54	7.50	11.00	7.50	8.61

Technical housing standards - nationally described space standard

10. The standard requires that:
- a. the dwelling provides at least the gross internal floor area and built-in storage area set out in table above
 - b. a dwelling with two or more bedspaces has at least one double (or twin) bedroom
 - c. in order to provide one bedspace, a single bedroom has a floor area of at least 7.5m² and is at least 2.15m wide
 - d. in order to provide two bedspaces, a double (or twin bedroom) has a floor area of at least 11.5m²
 - e. one double (or twin bedroom) is at least 2.75m wide and every other double (or twin) bedroom is at least 2.55m wide
 - f. any area with a headroom of less than 1.5m is not counted within the Gross Internal Area unless used solely for storage (if the area under the stairs is to be used for storage, assume a general floor area of 1m² within the Gross Internal Area)
 - g. any other area that is used solely for storage and has a headroom of 900/1500mm (such as under eaves) is counted at 50% of its floor area, and any area lower than 900mm is not counted at all
 - h. a built-in wardrobe counts towards the Gross Internal Area and bedroom floor area requirements, but should not reduce the effective width of the room below the minimum widths set out above. The built-in area in excess of 0.72m² in a double bedroom and 0.36m² in a single bedroom counts towards the built-in storage requirement
 - i. the minimum floor to ceiling height is 2.3m for at least 75% of the Gross Internal Area

REV	DATE	BY	REVISION NOTES
Suite 2, Clare Hall, St Ives Business Park, Parsons Green, St Ives, Cambs, PE27 4WY			
© COPYRIGHT Tel: 01480 494969 Email: enquiries@planningandarchitecture.co.uk Web: www.planningandarchitecture.co.uk			
PROJECT PROPOSED DWELLING ADJACENT No.12 PARKHALL ROAD, SOMERSHAM, PE28 3EU			
CLIENT MR I. STANCOMBE			
DRAWING TITLE PROPOSED FLOOR PLANS AND ELEVATIONS			
DRAWN BY NFM		SCALE 1:100 @ A1	
DATE 20/02/24		DWG. No. 23-40-202	
		REV.	

DEVELOPMENT MANAGEMENT COMMITTEE 19th AUGUST 2024

Case No: 24/00914/S73

Proposal: VARIATION OF CONDITION 2 (APPROVED PLANS) AND CONDITION 3 (MATERIALS) FOR 23/00816/FUL TO REMOVE REAR CONSERVATORY AND INSERTION OF BIFOLD DOORS, GREY ROOF TILES INSTEAD OF BROWN AND INSTALL FLUSH FITTING CASEMENT WINDOWS.

Location: 37 HIGH STREET, EARITH, HUNTINGDON, PE28 3PP

Applicant: MRS L BELL

Grid Ref: 538616 274853

Date of Registration: 21ST MAY 2024

Parish: EARITH

RECOMMENDATION – APPROVE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation for approval is contrary to Earith Parish Council's recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site comprises a rectangular parcel of land accessed off Chapel Road and sited to the rear of 37 High Street. The site was previously used as a car park associated with 37 High Street, formerly a pub/guest house, now a house in multiple occupation (HMO) pursuant to planning approval 17/01445/FUL.
- 1.2 The application site is located within the Earith Conservation Area and the closest Listed Building is 27 High Street (Grade II) to the south east. The site falls within Flood Zone 1 (low flood risk area) and is identified in Huntingdonshire's Strategic Flood Risk Assessment (2017) as susceptible to groundwater flooding.
- 1.3 Planning permission was granted under delegated powers for planning application reference 23/00816/FUL in June 2023 for a two storey 4-bed dwelling with associated access, parking and amenity space on the existing HMO car park area. This followed a previous application reference 22/00617/FUL for a similar development, which was approved by Development

Management Committee on 17th April 2023. Works have been carried out on site to implement the recent approval (reference 23/00816/FUL).

- 1.4 This Section 73 application seeks to vary Conditions 2 (Approved Plans) and 3 (Materials) of 23/00816/FUL to remove rear conservatory and insertion of bifold doors, use of grey roof tiles instead of brown and install flush fitting casement windows. Everything else remains as previously approved under application 23/00816/FUL.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP9: Small Settlements
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement

- LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP34: Heritage Assets and their Settings
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide SPD (2017)
 - Huntingdonshire Townscape and Landscape Assessment SPD (2022)
 - Developer Contributions SPD (2011)
 - Cambridgeshire Flood and Water SPD (2017)
 - Annual Monitoring Report, regarding housing land supply.

Local For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 17/01445/FUL - Change of use from dwellinghouse and guest house to house of multiple occupancy (7 rooms) and one apartment - Granted 09.11.2017
- 4.2 22/00617/FUL - Erection of 4 bed dwelling - Granted 25.04.2023
- 4.3 23/00816/FUL - Erection of 4 bedroom dwelling – Granted 26.06.2023

5. CONSULTATIONS

- 5.1 Earith Parish Council – Recommend Refusal
- A number of objections to this development have been received. Recommend refusal of the S73 amendments stated for condition 2 (approved plans) and condition 3 (materials) of this application. The footprint of the building has changed dramatically and has resulted in a loss of off-road parking for this build. The proposed landscaping has been removed and the building is a different shape and sits closer to the front of the development than before. If cars are parked on the road this will result in hazardous conditions on this major route to the school. The build is situated on a bend in the road that forms part of the one-way system with no footpaths.
- This development is not on the High Street in Earith and has no access to the High Street so the address given is misleading to the residents. This development sits purely on Chapel Road which is a narrow one-way road in the Village leading to the primary school.
- The proposed changes to the plans have made the development footprint too big for the site and has resulted in the build being closer to the surrounding homes and fencing and this creates an overbearing presence in the street scene in this area of the Village.

- 5.2 HDC Conservation Team – No objection. The site is within the Earith Conservation area and the subject of previous permission, the amendments will not harm the significance of the conservation area.
- 5.3 HDC Environmental Protection Team – No issues to raise.
- 5.4 CCC Highways – Following a careful review of the documents provided to the Highway Authority as part of the above planning application, it was noted that, with regard to Condition 2 (Approved Plans), the vehicular access is not affected by the amendments.

6. REPRESENTATIONS

- 6.1 No representations received.

7. ASSESSMENT

- 7.1 The main issues to consider in the determination of this application are:
- Principle of development
 - Design, Visual Amenity and Impact on the Conservation Area
 - Residential amenity
 - Highway Safety, Access and Parking Provision
 - Biodiversity
 - Flood Risk and Drainage
 - Other matters

Principle of development

- 7.2 The proposed amendments are set out above and all other parts of the development remain unchanged and therefore the previous planning permission remains relevant and unamended. Permission granted under section 73 takes effect as a new, independent permission to carry out the same development as previously permitted, subject to new or amended conditions. In this instance, the application seeks to vary conditions 2 and 3 of 23/00816/FUL through the submission of amended drawings.
- 7.3 The principle of development has been established by the original permission and therefore this will not be considered as part of this application. In determining an application under this section, Officers have regard to the development plan and all other material considerations.

Design, Visual Amenity and Impact on the Conservation Area

- 7.4 Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 state that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity.
- 7.5 The dwellings facing onto Chapel Road in the immediate vicinity of the site are varied in design and appearance. The majority of dwellings are detached and set back from Chapel Road with front gardens and/or driveways. There is a mix of both two storey and single storey dwellings with simple pitched roofs and a varied palette of materials including red and buff brick, render, cladding and brown or grey roof tiles.
- 7.6 Condition 3 of 23/00816/FUL states "*The materials to be used in the construction of the external surfaces of the development hereby permitted shall be carried out in accordance with the details stated on drawing no. JPT/SZR/0122/002 Rev C received by the Local Planning Authority on 5th May 2023, unless otherwise agreed in writing by the Local Planning Authority.*" The approved materials for the roof were brown concrete profiled tiles. This application proposes instead, Marley Mendip smooth grey tiles. There are examples of similar grey tiles within the vicinity of the site and it is therefore not considered the proposed roof material would appear out of keeping within the street scene. The windows would be anthracite aluminium as previously approved and these would be flush fitting casements.
- 7.7 The approved dwelling has a footprint of approximately 77 sqm. The current application looks to remove the approved single storey rear conservatory projection (3sqm) and introduce bi-fold doors. The proposed dwelling as shown on drawing H9242/01B has a footprint of approximately 75 sqm representing a reduction compared to the approved scheme. The site layout would remain as previously approved, with tandem parking to the side of the dwelling and soft landscaping to the front.
- 7.8 Concerns have been raised by Earith Parish Council that the footprint of the building has changed dramatically, landscaping has been removed and the dwelling now sits closer to the front of the development than before. As set out above, the footprint of the building is reduced through this S73 application. The area of soft landscaping to the front of the dwelling and the setback from the highway would remain as previously approved.
- 7.9 Overall, it not considered the proposed amendments to the design and materials of the approved dwelling would have any adverse visual impact on the street scene and would preserve the character and appearance of the Earith Conservation Area. It is recommended that conditions 2 and 3 are amended to refer to the currently submitted amended drawings. The proposal accords with Policies LP9, LP11, LP12 and LP34 of

Huntingdonshire's Local Plan to 2036 and is consistent with the design principles as set out in the Huntingdonshire Design Guide SPD (2017).

Residential Amenity

- 7.10 Policy LP14 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of a proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.11 The neighbouring property to the west is No 28 Chapel Road. This property has a single storey side extension in close proximity to the party boundary with 2 ground floor side facing windows and 5 rooflights as well as a first-floor side facing window on the original side elevation. A gap of approximately 3 metres would be retained between the side elevation of the dwelling and No 28. It is not considered the proposed amendments would have any material impact on the occupiers of No 28 compared to the approved scheme.
- 7.12 The rear elevation of the dwelling would face towards the rear elevation of the host property No 37 High Street. The omission of the rear conservatory projection and its replacement with bifold doors would not have any material impacts in terms of overlooking or loss of privacy to the occupants of No 37 and future occupants of the dwelling.
- 7.13 The building to the east of the application site is The Apple Tree Surgery which is not currently in use. There is a footpath separating the sites and it is not considered there would be any amenity impacts to users of the building.
- 7.14 Overall, taking the above factors into consideration, the proposal is considered to be acceptable with regard to its impact on residential amenity and therefore accords with Policy LP14 of Huntingdonshire's Local Plan to 2036 in this regard.

Highway Safety, Access and Parking Provision

- 7.15 Policy LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements and adequate parking for vehicles and cycles.
- 7.16 It is acknowledged that Earith Parish Council has concerns that the proposal would result in the loss of off-road parking and that any car parked on the road would result in hazardous conditions on a route to the school. No amendments to the vehicle access or the onsite parking arrangements are proposed, from the previously approved application 23/00816/FUL. The access would be to the north end of the site onto Chapel Road and the

driveway would accommodate 2 parked cars in tandem arrangement as previously approved 23/00816/FUL.

- 7.17 The Highway Authority has raised no objections. The proposed development is considered acceptable in terms of its impact on highway safety and therefore accords with Policy LP17 of Huntingdonshire's Local Plan to 2036.

Biodiversity

- 7.18 Policy LP30 of the Local Plan requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible.
- 7.19 The application site was formerly a car parking area comprising hard standing and it was considered to have low ecological value. Condition 6 of 23/00816/FUL required details of biodiversity enhancements which were submitted and discharged under discharge of condition reference 23/80483/COND. It is recommended that the wording of condition 6 be amended to ensure compliance with the approved biodiversity enhancements. Subject to this, the proposal is considered to comply with Policy LP30 of the Local Plan.

Flood Risk/Drainage

- 7.20 The site is located in a Flood Zone 1 which is considered appropriate for all forms of development. Huntingdonshire's Strategic Flood Risk Assessment (2017) identifies the site as susceptible to groundwater flooding. Details of the proposed soakaway are included on the proposed site plan (H9242/00A) and therefore condition 7 of the original permission requiring further details is no longer required. Furthermore, condition 8 of the original permission required details of foul water drainage which have been approved under reference 23/80483/COND and therefore it is recommended this be amended to a compliance condition. The proposal would therefore comply with Policies LP6, LP12 and LP15 of the Local Plan.

Other matters

- 7.21 An application under Section 73 of the Town and Country Planning Act 1990, if approved, has the effect of the issue of a new, separate, planning permission. Consequently, the conditions applied to the previous permission to which this application relates must be reviewed and added to any approval of this application where they would pass the tests of conditions set out in paragraph 56 of the NPPF 2023.

- 7.22 The wording of condition 1 in respect of the time limit would be amended so as to not extend the time within which the works must be started in accordance with Section 91 of the Town and Country Planning Act 1990, as amended. The list of approved drawings would be varied to include the amended drawings however the wording of condition 2 (approved plans) will remain to ensure the development is carried out in accordance with the approved plans list. Condition 3 (Materials) would be amended to reference the amended drawing detailing the proposed materials. Condition 4 (Levels), 5 (Landscaping), 6 (Biodiversity enhancement), 8 (Foul Drainage), 9 (Bin and Bike Stores), 12 (Highway Drainage) and 14 (Details/Provision of Temporary Facilities) have been approved under discharge of condition reference 23/80483/COND and would therefore be amended to compliance conditions. Condition 7 (Surface water drainage) would also be amended to ensure compliance with the approved plan. It is recommended that the remainder of the conditions on the original application be imposed on this application and would therefore continue to have effect.
- 7.23 The application has not been accompanied by a completed Unilateral Undertaking for the provision of wheeled bins as required by part H of the Developer Contributions Supplementary Planning Document (2011) and Policy LP4 of the Local Plan to 2036. A completed Unilateral Undertaking form has been requested by Officers and members will be provided with an update on this matter prior to the meeting.

Conclusion

- 7.24 Having regard to national and local planning policies, and having taken all relevant material considerations into account, it is recommended that application should be approved for the proposed amendments. It is recommended that the wording of all conditions on the original application (23/00816/FUL) be replicated on this application under section 73 of the Town and Country Planning Act 1990, excluding those conditions which will be amended as outlined above.

8. RECOMMENDATION – APPROVAL subject to conditions to include the following:

- Time limit – 26th June 2026
- Approved plans
- Materials as detailed on drawing H9242/02A
- Levels as approved under 23/80483/COND
- Landscaping as approved under 23/80483/COND
- Biodiversity enhancements as approved under 23/80483/COND
- Surface water drainage as detailed on drawing H9242/00A
- Foul drainage as approved under 23/80483/COND

- Bin and bike stores as approved under 23/80483/COND
- Removal of permitted development rights for gates
- Access laid to CCC specification
- Highway drainage as approved under 23/80483/COND
- On-site parking provision
- Temporary facilities as approved under 23/80483/COND
- Water efficiency
- M4(2) Building Regulation requirement
- Car parking for No 37

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER: Lucy Pateman (Senior Development Management Officer)

Enquiries: lucy.pateman@huntingdonshire.gov.uk

From: [REDACTED]
To: [Control, Development \(Planning\)](#)
Subject: RE: Planning Permission Consultation - 37 High Street Earith Huntingdon (ref 24/00914/S73)
Date: 07 June 2024 12:29:08

Good Afternoon,

Further to the Parish Council meeting held last night the Council have asked me to comment that they have a number of objections to this development, and they recommend refusal of the S73 amendments stated for condition 2 (approved plans) and condition 3 (materials) of this application.

The footprint of the building has changed dramatically and has resulted in a loss of off-road parking for this build. The proposed landscaping has been removed and the building is a different shape and sits closer to the front of the development than before. If cars are parked on the road this will result in hazardous conditions on this major route to the school. The build is situated on a bend in the road that forms part of the one-way system with no footpaths.

This development is not on the High Street in Earith and has no access to the High Street so the address given is misleading to the residents. This development sits purely on Chapel Road which is a narrow one-way road in the Village leading to the primary school.

The proposed changes to the plans have made the development footprint too big for the site and has resulted in the build being closer to the surrounding homes and fencing and this creates an overbearing presence in the street scene in this area of the Village.

The Parish Council therefore recommend refusal and would like these comments to be considered when you make your final decision.

Regards

[REDACTED]
Parish Clerk and RFO
[REDACTED]

Please note that I work part time so there may be a delay in responding to both email and telephone calls.

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From: [REDACTED]
Sent: Friday, May 24, 2024 3:25 PM
[REDACTED]
Subject: RE: Planning Permission Consultation - 37 High Street Earith Huntingdon (ref 24/00914/S73)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Variation of Condition 2 (Approved Plans) and Condition 3 (Materials) for 23/00816/FUL to remove rear conservation and insertion of bifold doors, grey roof tiles instead

of brown and install flush fitting casement windows.

Site Address: 37 High Street Earith Huntingdon

Reference: 24/00914/S73

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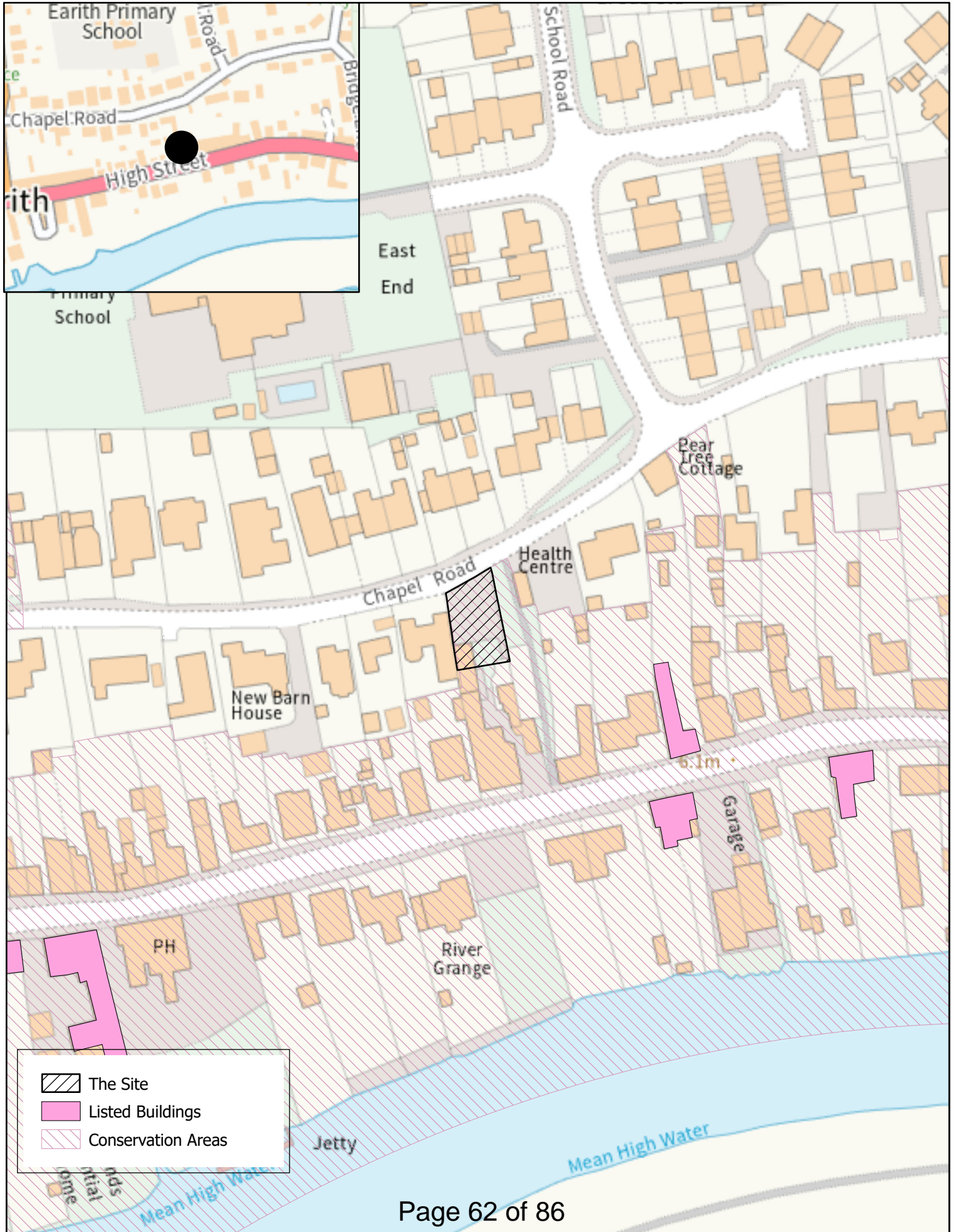
Development Management
Huntingdonshire District Council

[Redacted contact details]

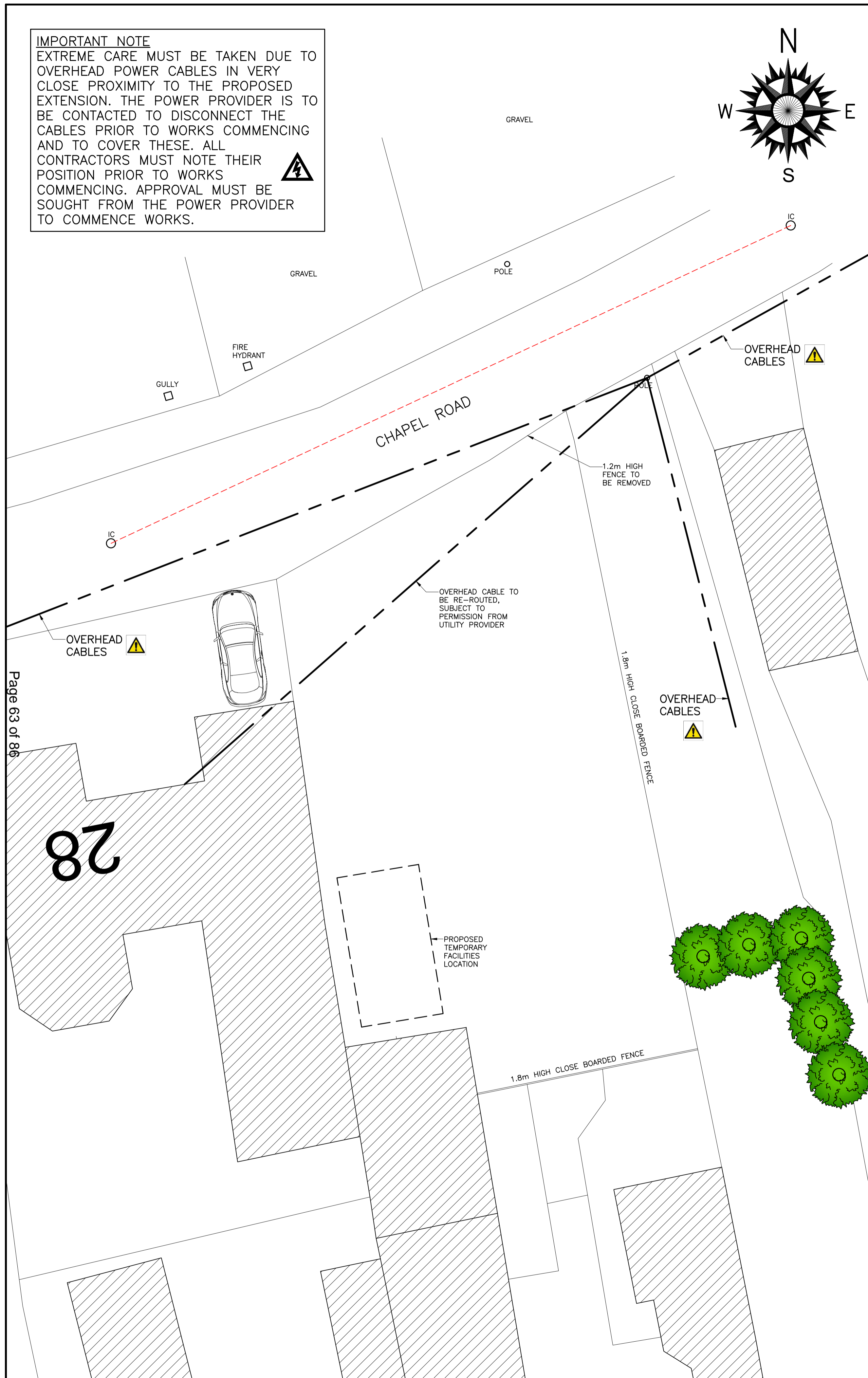
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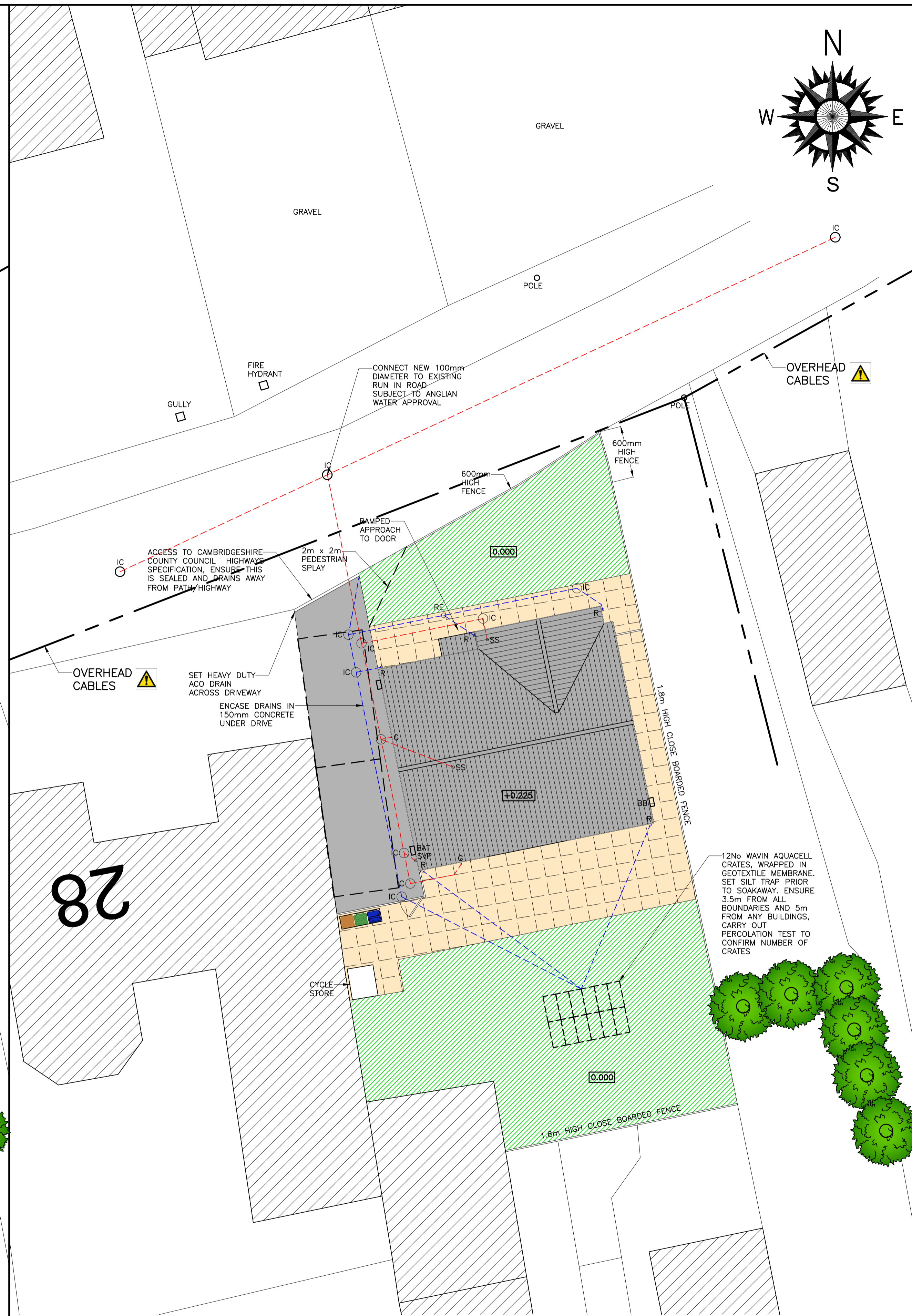
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EXISTING SITE PLAN (1:100)



PROPOSED SITE PLAN (1:100)



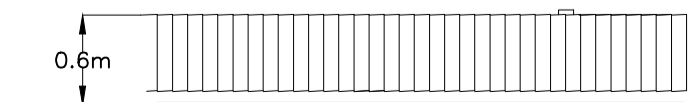
BIRD BOX (BB)



BAT BOX (BAT)



CYCLE STORE

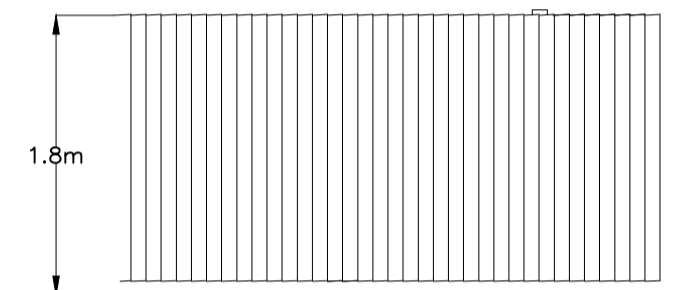


0.6m HIGH FENCE DETAIL (1:50)

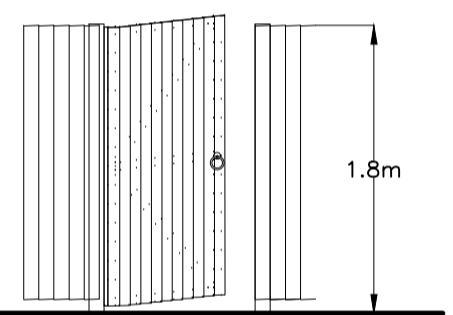
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 The contractor is to arrange inspections of the works by the BCO (or NHBC) as required by the Building Regulations and is to obtain completion certificate and forward to the Engineer

LEGEND

- CONCRETE SLABS 600x600
- MARSHALL BUFF (NON SLIP)
- TARMAC
- WASTE BINS
- GRASS
- VEGETATION
- PROPOSED HEDGING
- 100mm DIAMETER FOUL DRAINS
- 100mm DIAMETER SURFACE WATER DRAIN
- BAT = BAT BOX, SEE DETAIL
- BB = BIRD BOX, SEE DETAIL



1.8m HIGH FENCE DETAIL (1:50)



GATE DETAIL (1:50)

A	DRAWING UPDATED	MAY 24
	REVISIONS	DATE

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Fenland District Council Building Design Awards
 winner Building Excellence in Fenland

CLIENT
 Mrs L Bell

PROJECT
 Rear of 37 High Street Earith, Cambridgeshire, PE28 3PP

TITLE
 Existing & Proposed Site Plan

DRAWN R.Papworth	DATE OF ISSUE
CHECKED	
DATE Nov 2022	DRAWING NUMBER H9242/00A
SCALE As Shown	

EXTERNAL MATERIALS

WALLS : WIENERBERGER ATHENA BLEND

FASCIA/SOFFIT : BLACK UPVC

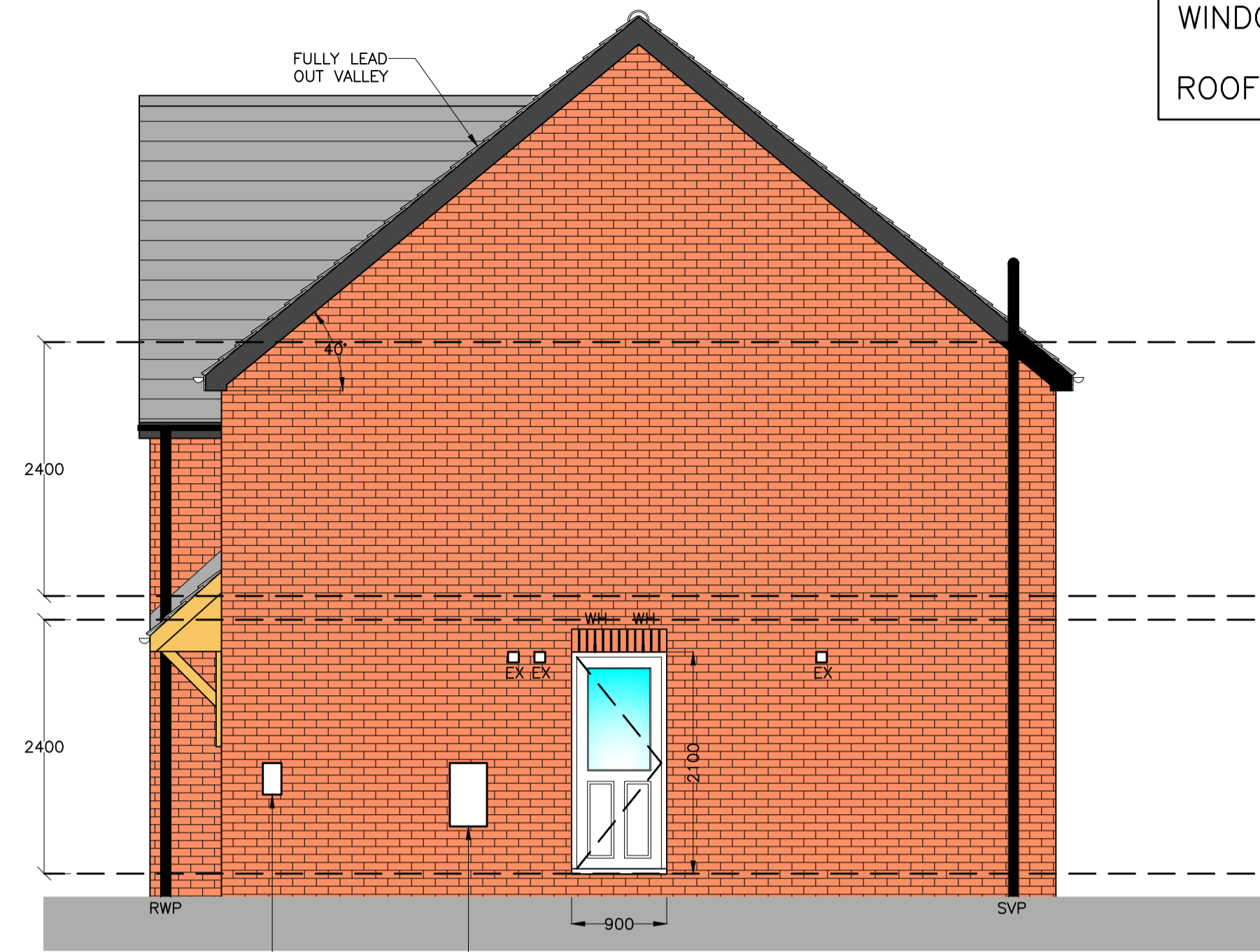
WINDOWS ANTHRACITE ALUMINIUM

ROOF TILES : MARLEY MENDIP SMOOTH GREY

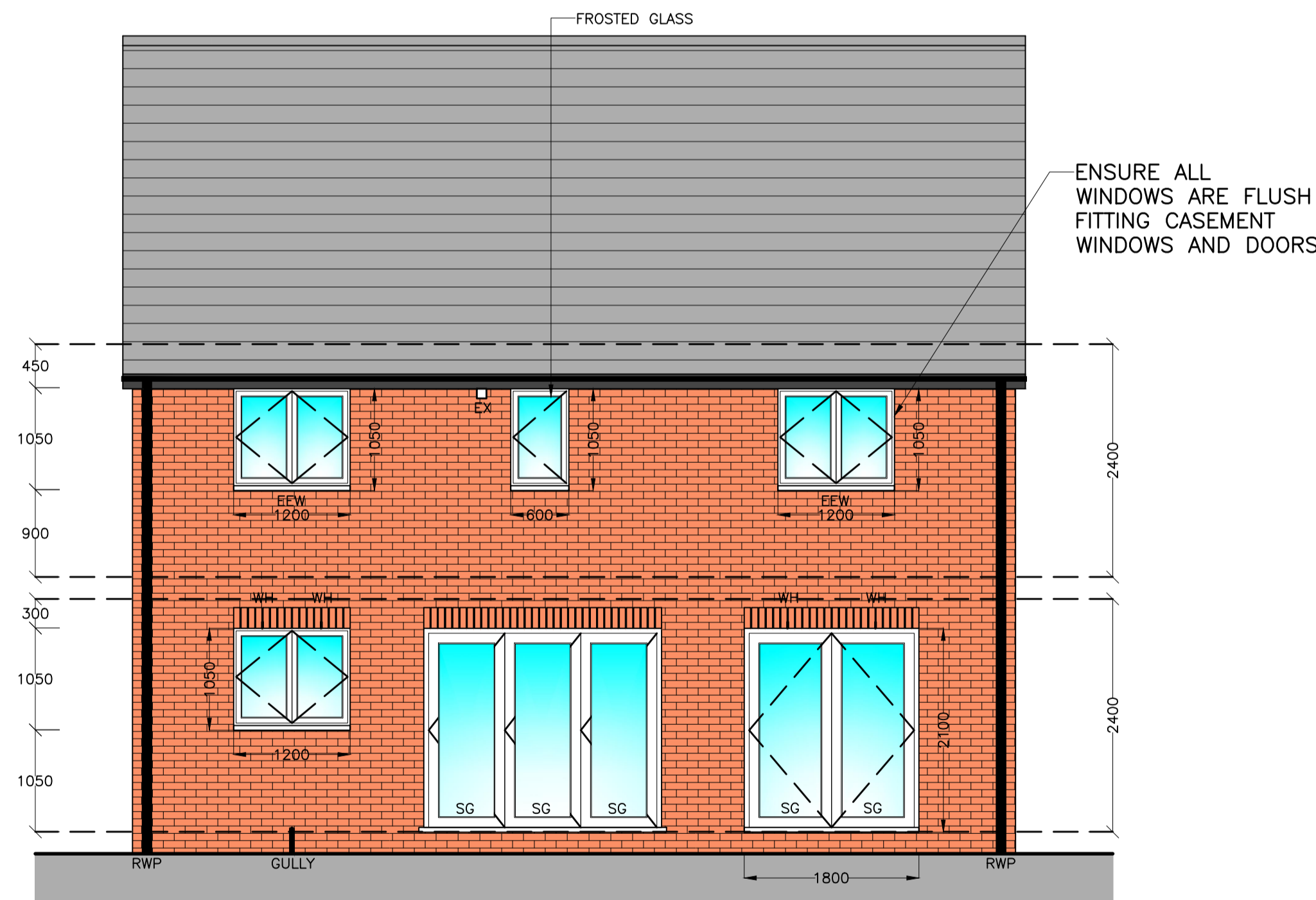
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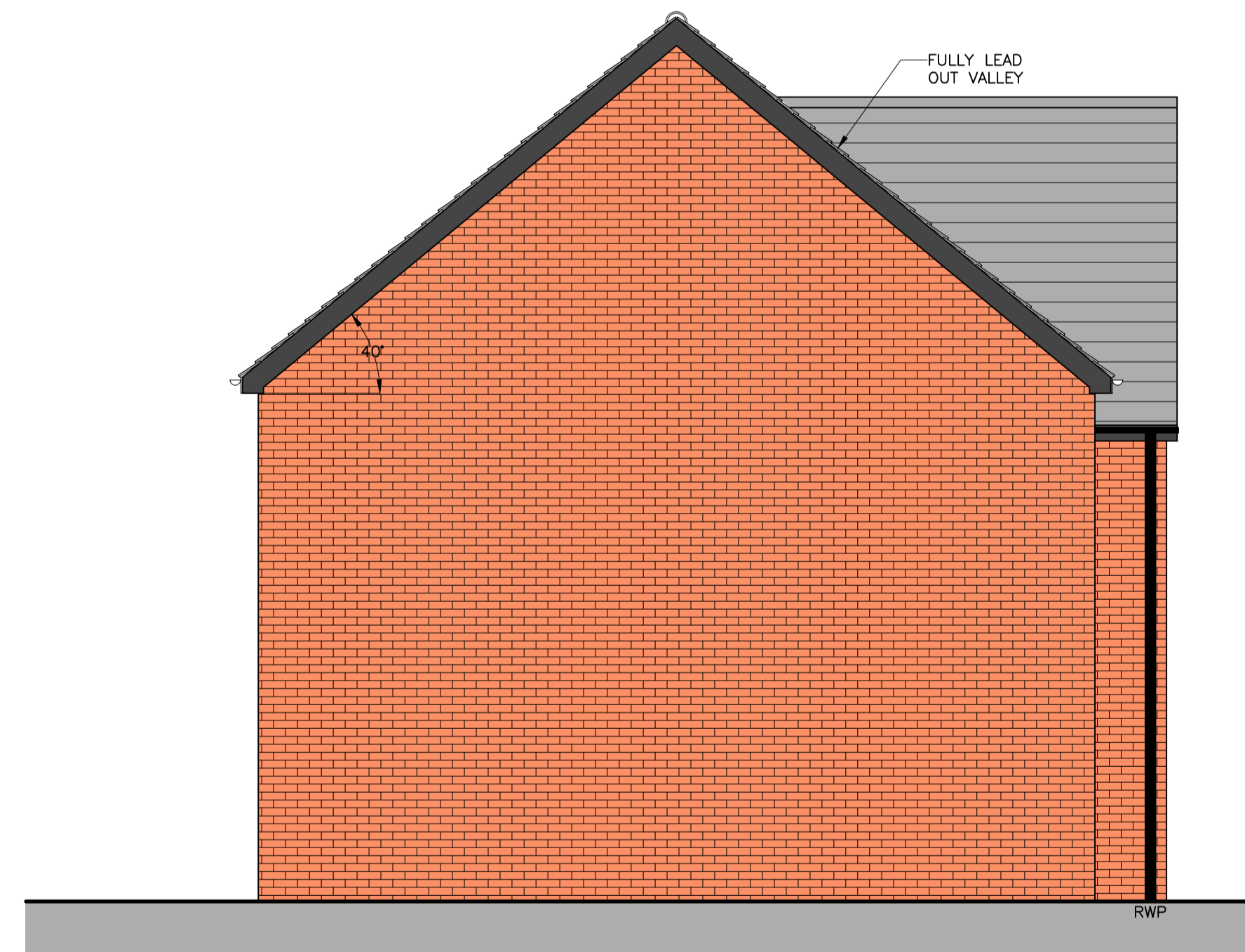
PROPOSED FRONT ELEVATION (1:50)



PROPOSED RHS ELEVATION (1:50)



PROPOSED REAR ELEVATION (1:50)



PROPOSED LHS ELEVATION (1:50)

PHOTOGRAPHIC EVIDENCE DURING CONSTRUCTION

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A	DRAWING UPDATED	MAY 24
	REVISIONS	DATE

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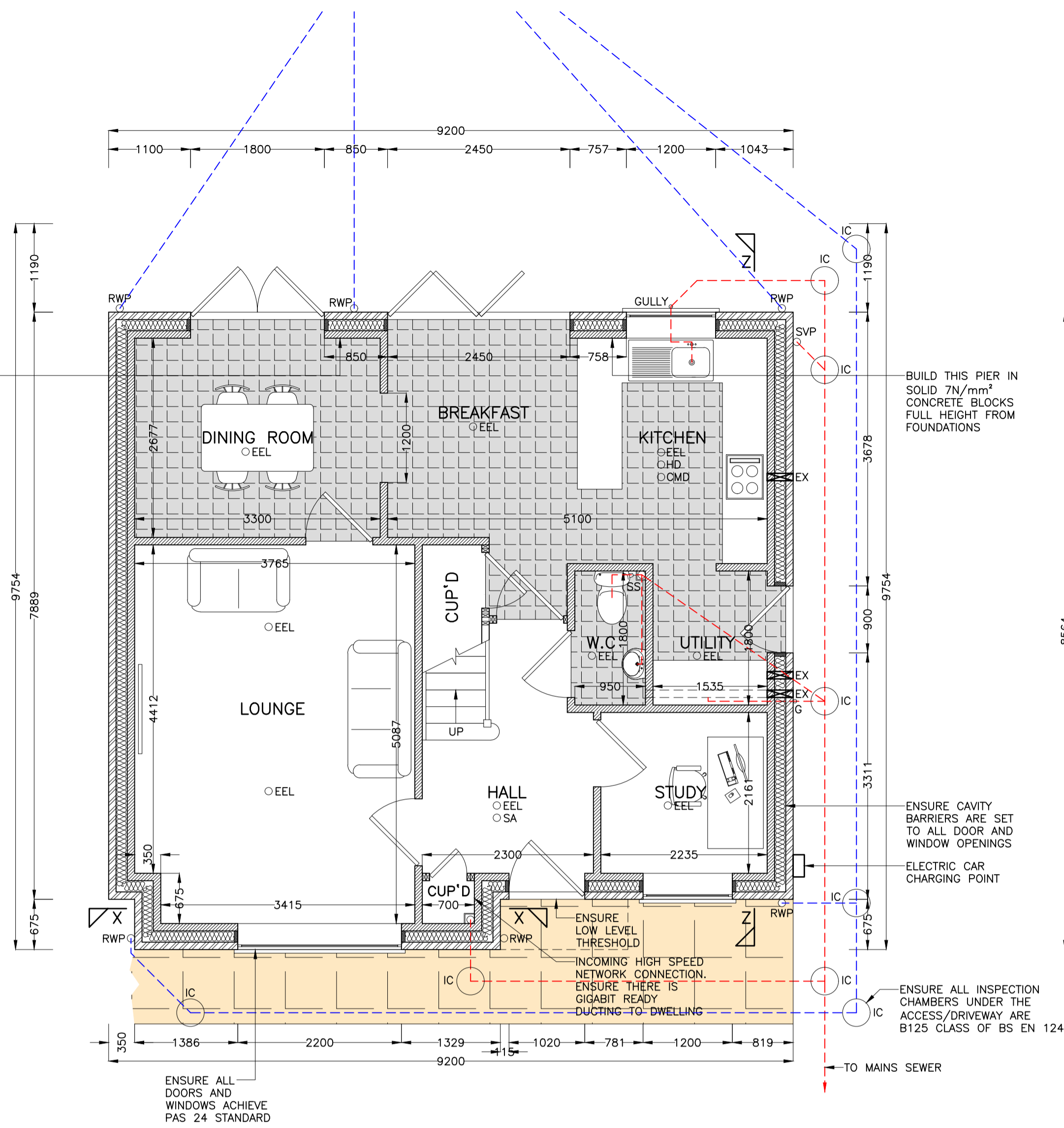
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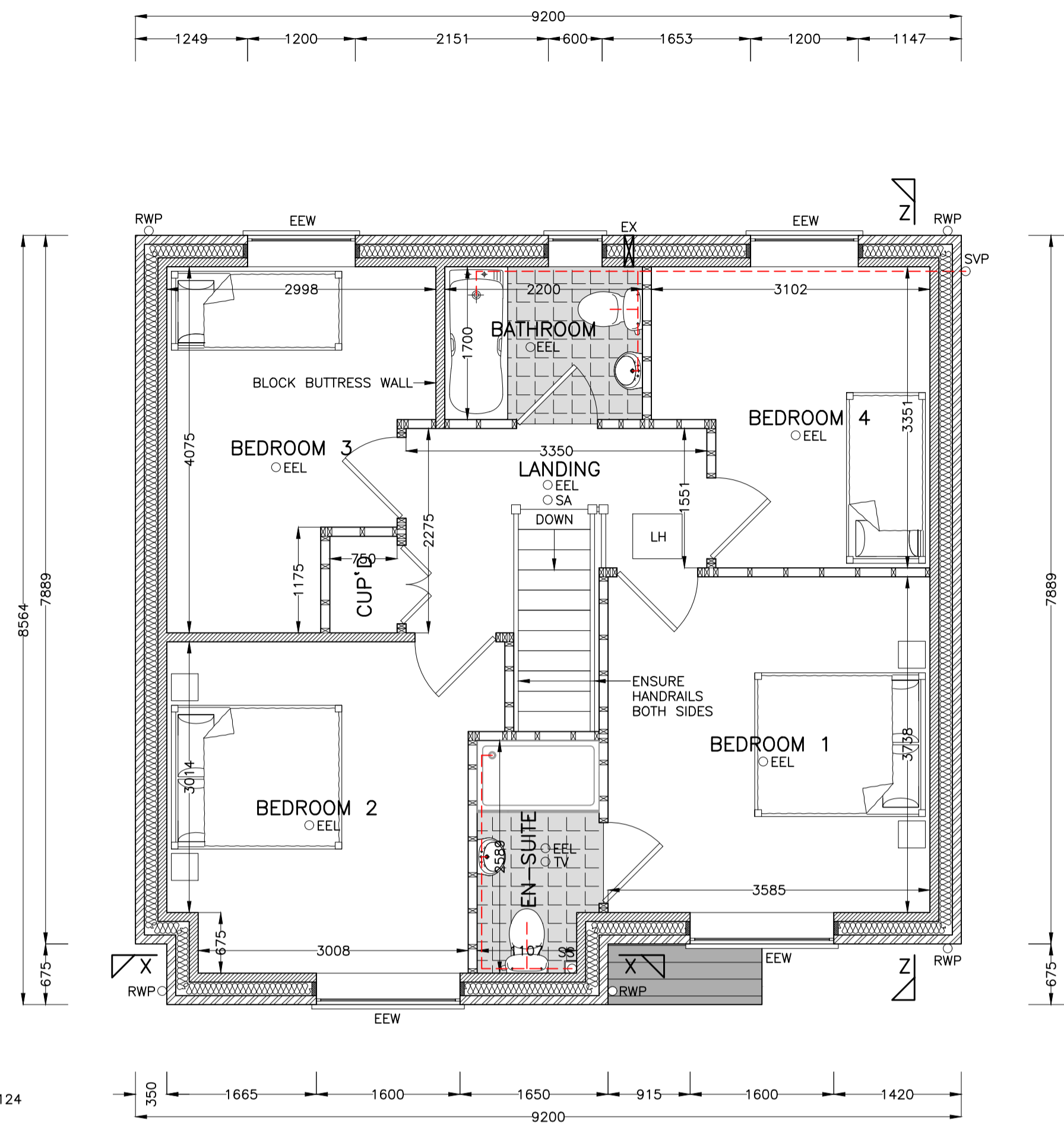
PROJECT
 Rear of 37 High Street Earith, Cambridgeshire, PE28 3PP

TITLE
 Proposed Elevations

DRAWN R.Papworth	DATE OF ISSUE
CHECKED	
DATE Nov 2022	DRAWING NUMBER H9242/02A
SCALE As Shown	



PROPOSED GROUND FLOOR PLAN (1:50)



PROPOSED FIRST FLOOR PLAN (1:50)

ROOM NAME	OPENING TYPE	OPENING AREA	VENTILATION AREA
HALL	DOOR	2.14m²	10000mm²
STUDY	WINDOW	1.44m²	10000mm²
LOUNGE	WINDOW	2.97m²	10000mm²
UTILITY	DOOR	1.89m²	8000mm²
KITCHEN	WINDOW	1.26m²	2x8000mm²
DINING	DOORS	3.78m²	10000mm²
BREAKFAST	DOORS	3.15m²	10000mm²
BREAKFAST	WINDOWS	7.62m²	10000mm²
BEDROOM 1	WINDOW	1.68m²	10000mm²
BEDROOM 2	WINDOW	1.68m²	10000mm²
BEDROOM 3	WINDOW	1.26m²	10000mm²
BEDROOM 4	WINDOW	1.26m²	10000mm²
BATHROOM	WINDOW	0.63m²	8000mm²
TOTAL		30.76m²	132000mm²

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LEGEND

- SG = SAFETY GLASS
- EX = EXTRACTOR FAN, DUCTED TO EXTERNAL AIR, FAN TO B MOUNTED ON EXTERNAL WALL, OR 1.5m MAXIMUM DUCT LENGTH, OR INCREASE EXTRACTOR CAPACITY TO COMPENSATE FOR THE AIR FLOW LOSSES
- SA = INTERLINKED SMOKE ALARM
- HD = HEAT DETECTOR
- EEL = ENERGY EFFICIENT LIGHT, NUMBER AND POSITION AND TYPE TO BE TO CLIENTS DETAILS. ENSURE THESE ARE A MINIMUM LUMINOUS EFFICIENCY OF 75 LIGHT SOURCE LUMENS PER CIRCUIT WATT
- SVP = UPVC SOIL AND VENT PIPE
- RWP = UPVC RAINWATER PIPE
- GULLY = RODABLE GULLY
- SS = STUB STACK
- TV = TILE VENT FOR EXTRACTOR
- EEW = EMERGENCY ESCAPE WINDOW, 800-1100 FROM FLOOR LEVEL, ENSURE CLEAR AREA OF 0.33m², MINIMUM CLEAR DIMENSION OF 450mm
- RE = RODDING EYE
- CMW = CARBON MONOXIDE DETECTOR
- IC = INSULATED CAVITY CLOSER
- EJ = EXPANSION JOINT IN MASONRY, SEALED BOTH SIDES, SET TIES AT 225mm VERTICAL CENTRES
- FD30 = 30 MINUTE FIRE RESISTANT DOOR
- WH = WEEP HOLE

B	DRAWING UPDATED	MAY 24
A	BUILDING REGULATION QUERIES	JAN 24

REVISIONS	DATE
-----------	------

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CLIENT
 Mrs L Bell

PROJECT
 Rear of 37 High Street Earith, Cambridgeshire, PE28 3PP

TITLE
 Proposed Plans

DRAWN R.Papworth	DATE OF ISSUE
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DATE Nov 2022	DRAWING NUMBER H9242/01B
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DEVELOPMENT MANAGEMENT COMMITTEE 19th AUGUST 2024

Case No: 21/02793/FUL

Proposal: Reconfiguration of and extension to existing car park to provide 2 disability parking bays and 14 additional parking bays, widening of existing building perimeter path, installation of new weld wire mesh fence as well as new lamp post and replacement of external wall lighting

Location: One Leisure, Abbey Road, Ramsey

Applicant: Mr Raby – One Leisure

Grid Ref: 529432 284996

Date of Registration: 13.12.2021

Parish: Ramsey

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) as the Leisure Centre is managed by Huntingdonshire District Council

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The site is located at the northern end of Abbey Road and contains Abbey College and Ramsey Leisure Centre. The buildings associated with the Leisure Centre are located to the north-east. College playing fields surround the buildings to the north, east and west. The Grade I listed Ramsey Abbey is located to the west and the site falls within Ramsey Conservation Area.

Proposal

- 1.2 This application seeks approval for the reconfiguration and extension to the existing car park at One Leisure, Abbey Road, Ramsey to provide 2 disability parking bays and 14 parking bays. The proposal also includes the widening of the existing building perimeter path, the installation of a weld wire mesh fence, a lamp post and the installation of external wall lighting.
- 1.3 This application has been accompanied by the following:
- Heritage Statement;

- Preliminary Ecological Appraisal and Preliminary Bat Roost Assessment Survey; and
 - Archaeological Monitoring Report.
- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment
- 2.3 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement
 - LP22: Local Services and Community Facilities
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland, Hedges and Hedgerows

- LP34: Heritage Assets and their Settings

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD (2017)
- LDF Developer Contributions SPD (2011)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

4. RELEVANT PLANNING HISTORY

- 4.1 21/80374/COND - Conditional Information for 18/02171/FUL: C4 (archaeology) – Discharged
- 4.2 21/80266/COND - Conditional Information for 21/01085/FUL: C4 (Tree Details) - Discharged
- 4.3 21/02531/NMA - Amendment to application 21/01085/FUL: Site boundary/ area increased by 12.6 sqm – Approved
- 4.4 21/01085/FUL - Carbon Improvements through works including the replacement of windows, doors and roof, new cladding, the provision of windcatchers on roof and new mechanical plant and an increase in non-residential floor area to accommodate a new plant room – Approved
- 4.5 18/02171/FUL – The construction of an external 3G artificial Turf Pitch (ATP) including perimeter fencing, floodlighting, associated hardstanding area and goal recess areas – Approved.

5. CONSULTATIONS

- 5.1 Ramsey Town Council – The Council unanimously supports the application, it had not received any neighbouring objections and unanimously agreed that the District Council be recommended to approve the application on the grounds that it does not conflict with the policies contained in the Development Plan.
- 5.2 Cambridgeshire County Council’s Highway Authority – The application is for an extension to the existing car park and other improvements. The junction for the access road with the highway is adequate for the increase in vehicles that is being catered for. Therefore, the proposal is unlikely to have any adverse effect on the public highway should Planning Permission be approved.

- 5.3 Cambridgeshire County Council's Archaeological Officer – Initially requested further information regarding any proposed sub-surface works in order to ascertain the impact on archaeological remains.

The additional documentation provided indicates that sub-surface work will be undertaken e.g. the proposed new parking sub-base and underground storage tanks which may impact on archaeological remains. Therefore due to the archaeological potential of the site, a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary. Therefore no objections subject to the imposition of a condition on any planning permission granted.

6. REPRESENTATIONS

- 6.1 One initial letter of objection was by Abbey College, Ramsey:

The proposal will affect the Academy's future plans to Safeguard and secure the school site. In order to erect a Safeguarding fence around the school site, fencing it off from unvetted members of the public e.g. the visitors to One Leisure.

Required to improve site Safeguarding security, in line with DFE guidelines. Plans have been drawn up which show that this area of the proposed carpark extension in particular is key to the new access point between the south and north of the school site. This has been established as the only place students can move safely between the north and south of the school site. It is therefore very important to the future of the school that this objection is seriously considered.

However more recently we have received confirmation from the School that they now have no objection to extend the One Leisure car parking facilities.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2021). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan

documents (taken as a whole) that have been adopted or approved in that area”.

- 7.3 In Huntingdonshire the Development Plan (relevant to this applications) consists of:
- Huntingdonshire’s Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term ‘material considerations’ has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main issues to consider in the determination of this application are:
- The Principle of Development
 - Design, Visual Amenity and Impact on Heritage Assets
 - Residential Amenity
 - Highway Safety
 - Flood Risk and Surface Water
 - Biodiversity
 - Impact on Trees
 - Other Matters

The Principle of Development

- 7.6 The site is located within a built-up area of Ramsey, which is identified as a Spatial Planning Area within the Huntingdonshire Local Plan to 2036 and as such, Policy LP7 is considered relevant. The proposal involves alterations to an existing Leisure Centre (previously Use Class D2, now Class E). As such, Policy LP22 (Local Services and Community Facilities) is also considered relevant.
- 7.7 The proposal seeks approval for alterations to improve movement and parking at an existing leisure centre and does not involve the creation of any additional floorspace. As such, the proposed development is considered to be in accordance with the aims of Policies LP7 and LP22. Furthermore, paragraph 97 of the National Planning Policy Framework states that to provide the social, recreational and cultural facilities and services the community needs, planning decisions should ensure that facilities and services are able to develop and modernise.

- 7.8 As such, the principle of development is considered acceptable in this instance, subject to all other planning matters being addressed.

Design, Visual Amenity and Impact on Heritage Assets

- 7.9 The Local Planning Authority is required to ensure that special regard is given to preserving the listed buildings and their settings in relation to Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990. The Local Planning Authority is also required to ensure that with respect to any buildings or other land in a conservation area, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area, through the Planning (Listed Buildings and Conservation Areas) Act 1990 at Section 72. This is also reflected in Policy LP34 of the Huntingdonshire Local Plan and Section 16 of the National Planning Policy Framework.
- 7.10 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. This is also reflected in the Huntingdonshire Design Guide SPD, the National Design Guide and Section 12 of the National Planning Policy Framework.
- 7.11 The proposal involves the reconfiguration and extension to the existing car park, a new permeable pathway incorporating a new gentle ramp and handrail, the installation of a new 1.8m welded mesh fence, a new lamp post and replacement external lighting at One Leisure, Abbey Road, Ramsey. The site is located within the Ramsey Conservation Area and is in close proximity to Ramsey Abbey (Grade I Listed Building).
- 7.12 The scale of the proposed car park extension and the widening of the building perimeter path are considered to be acceptable with the visual impact softened through the use of grasscrete for the proposed parking bays and the retention of existing trees. A condition would be imposed on any planning permission to ensure the retention of the existing trees and their protection during construction.
- 7.13 Furthermore, given the location of the proposed works in the northern corner of the site, screened by existing buildings and trees, the proposal would have a limited impacted on the character and appearance of the area.
- 7.14 Given the scale and nature of the proposal, the Local Planning Authority are satisfied that the proposal would not result in any

harm to setting of the nearby Listed Building nor the character and appearance of the Ramsey Conservation Area.

- 7.15 Overall, the proposal is considered to be acceptable in terms of its scale and design and would not result in harm to the character and appearance of the site, the Ramsey Conservation Area or the surrounding area and would not harm the significance of nearby Listed Buildings. As such, the proposal is deemed to be in accordance with Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies LP11, LP12 and LP34 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework in this regard.

Residential Amenity

- 7.16 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.17 Given the scale and nature of the proposed development and the distance to the closest neighbouring residential properties (approximately 215m to Lawrence Road) the Local Planning Authority are satisfied that the proposal would not result in any detrimental impacts on any neighbouring properties amenities.
- 7.18 As such, the proposal is deemed to be in accordance with Policy LP14 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework in this regard.

Highway Safety

- 7.19 The site is accessed via Abbey Road, an unclassified road subject to a 30mph speed limit. The proposal seeks to alter and extend the existing car park serving the Leisure Centre.
- 7.20 Cambridgeshire County Council have confirmed they have no objections to the proposal and conclude that the existing access arrangements are adequate enough to accommodate the additional vehicles that would be catered for. Furthermore, the proposed re-configuration and extension to the car park is considered to be of an overall acceptable configuration ensuring that vehicles enter the public highway in a forward gear and off-street car parking spaces are of acceptable dimensions.
- 7.21 As such, the proposal is considered acceptable in terms of its impact on highway safety and therefore accords with Policy LP17 of Huntingdonshire's Local Plan to 2036 and Section 9 of the National Planning Policy Framework in this regard.

Flood Risk and Surface Water

- 7.22 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 165-175 of the NPPF (2023)).
- 7.23 In this case, the application site is situated in Flood Zone 1 based on the Environment Agency Floods Maps and is identified as low risk to ground water flooding in the Strategic Flood Risk Assessment 2017.
- 7.24 Given that the site is in Flood Zone 1 and comprises less than 1 hectare of land, the sequential and exceptions tests for flooding nor the submission of a site specific flood risk assessment are considered necessary in this instance in accordance with the NPPF and NPPG.
- 7.25 The application has been accompanied by drainage plans and construction details showing that the parking area will utilise permeable construction and proposed underground geo-cellular storage crates. The site is located within the Ramsey First (Hollow) Internal Drainage Board and both the Middle Level Commissioners and the Drainage Board have been consulted on the proposed plans although no comments have been received to date.
- 7.26 Given the low flood risk and minor scale of development, officers are satisfied that the surface water drainage can be secured as part of building regulations and other relevant legislative requirements in this instance.
- 7.27 Overall, the proposal is considered to be acceptable with regard to its impact on both flood risk and surface water and therefore accords with Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan to 2036 and Section 14 of the National Planning Policy Framework in this regard.

Biodiversity

- 7.28 Paragraph 180 of the NPPF (2023) states planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development.

- 7.29 This application has been accompanied by a Preliminary Ecological Appraisal and Preliminary Bat Roost Assessment Survey which was originally submitted to accompany an earlier application for the installation of a floodlit all-weather pitch immediately adjacent to the proposed site. It states that the site overall offers a negligible ecological value and offers recommendations to protect nesting birds, bats and hedgehogs as well as biodiversity enhancement measures including bird and bat boxes. These were conditioned and carried out as part of application 18/02171/FUL.
- 7.30 Whilst the proposal at this stage does not indicate any measures for biodiversity enhancement, given the scale and nature of the proposed development, the Local Planning Authority are satisfied that the proposal would ensure no biodiversity net loss. It is also worth noting that Local Planning Authorities records indicate no presence of protected species in the area.
- 7.31 Overall, the proposal is deemed to broadly be in accordance with Policies LP30 and LP31 of Huntingdonshire's Local Plan to 2036 and Sections 12 and 15 of the National Planning Policy Framework in this regard, subject to the imposition of conditions on any planning permission granted.

Impact on Trees

- 7.32 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.
- 7.33 As previously stated, a condition would be imposed on any planning permission granted to ensure the submission of a tree protection plan for the existing trees to be retained and protected given their visual amenity and siting within the Conservation Area.
- 7.34 Accordingly, subject to the imposition of a condition regarding landscaping details the proposal is considered acceptable in accordance with Policy LP31 of the Local Plan to 2036.

Other Matters

- 7.35 The development area lies in an area of high archaeological potential and sits to the east of Ramsey Abbey listed as a scheduled monument (CHER ref. DCB81) and sits within the abbey's walled park and garden (CHER ref. 12329). Initially, Cambridgeshire County Council's Archaeology Team disagreed with the opinion of the submitted Heritage Statement that no significant archaeology has been found in the area.

7.36 Following the receipt of additional information which confirms that sub-surface works would be undertaken as a result of the proposed parking sub-base and underground storage tanks, Cambridgeshire County Council's Archaeology have no objections to the proposal, subject to the imposition of a condition on any planning permission granted requiring a further programme of investigation and recording.

Conclusion

7.37 The proposed development is considered to be compliant with the relevant national and local policy as it is:

- Acceptable in principle

And it:

- Is of an appropriate scale and design;
- Would not have a significantly detrimental impact upon the amenity of neighbours.
- Would not be detrimental to highway safety in the locality;
- Would not result in an increased risk of flooding in the locality;
- Is acceptable with regards to the impact on biodiversity;
- There are no other material planning considerations which lead to the conclusion that the proposal is unacceptable.

7.38 Taking national and local planning policies into account, and having regard for all relevant material considerations, it is recommended that planning permission be granted, subject to the imposition of appropriate conditions.

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Time limit
- Approved plans
- Materials
- Tree retention and protection
- Archaeology

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER: Lucy Pateman (Senior Development Management Officer)

Enquiries: lucy.pateman@huntingdonshire.gov.uk

From: [REDACTED]
To: [REDACTED]
Subject: Comments for Planning Application 21/02793/FUL
Date: 14 January 2022 11:23:23

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 14/01/2022 11:23 AM from [REDACTED].

Application Summary

Address: One Leisure Abbey Road Ramsey Huntingdon PE26 1DP

Proposal: Reconfiguration of, and extension to, existing car park to provide 2 disability parking bays and 14 additional parking bays, widening of existing building perimeter path, installation of new weld wire mesh fence as well as new lamp post and replacement of external wall lighting.

Case Officer: [REDACTED]

[Click for further information](#)

Customer Details

Name: [REDACTED]

Email: [REDACTED]

Address: [REDACTED]

Comments Details

Commenter Type: Town or Parish Council

Stance: Customer made comments in support of the Planning Application

Reasons for comment:

Comments: The Council unanimously supports the application, it had not received any neighbouring objections and unanimously agreed that the District Council be recommended to approve the application on the grounds that it does not conflict with the policies contained in the Development Plan.

Kind regards

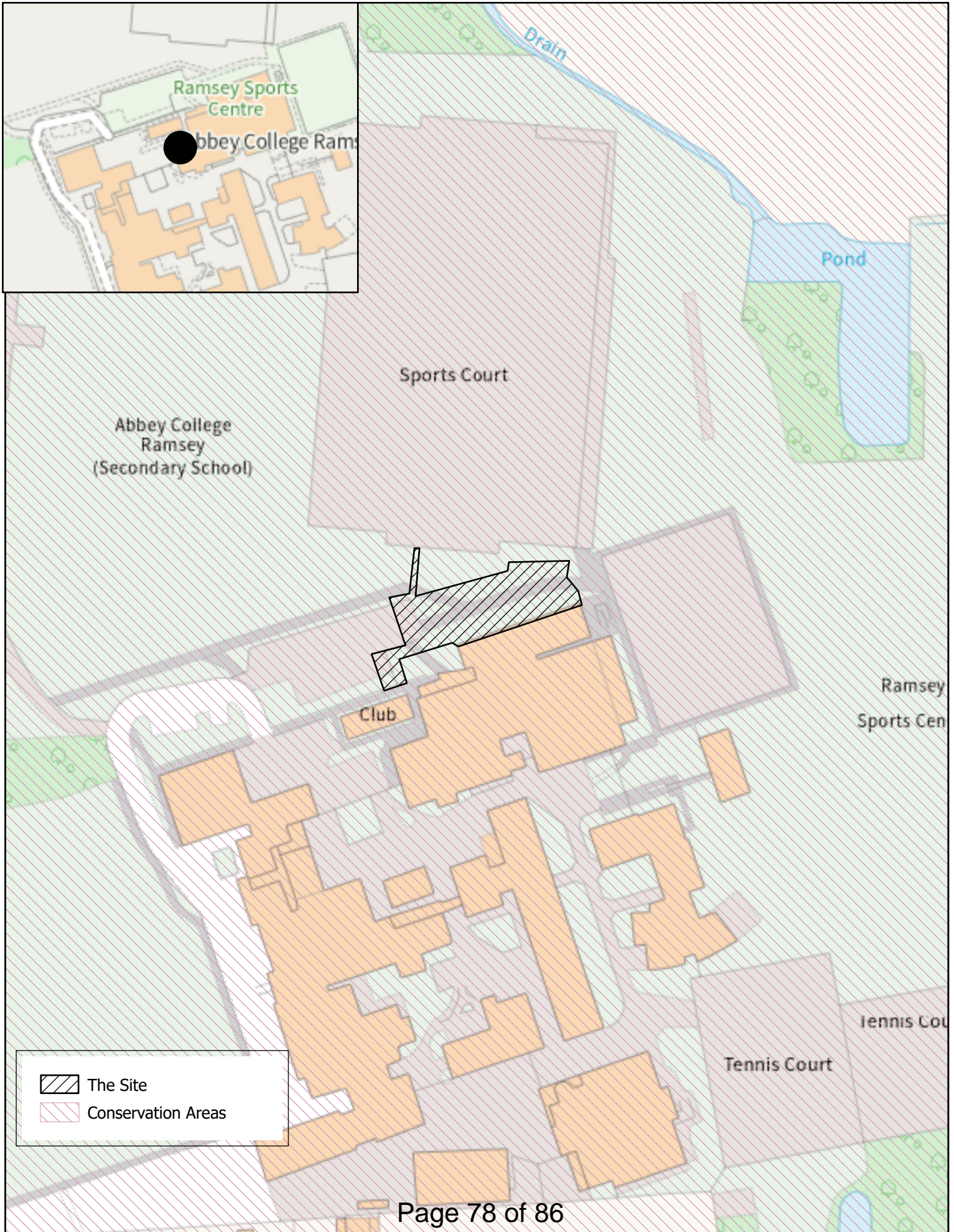
Development Management Committee

Application Ref: 21/02793/FUL

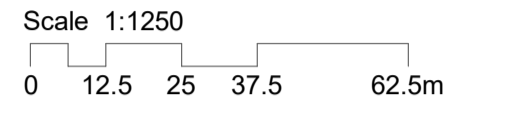


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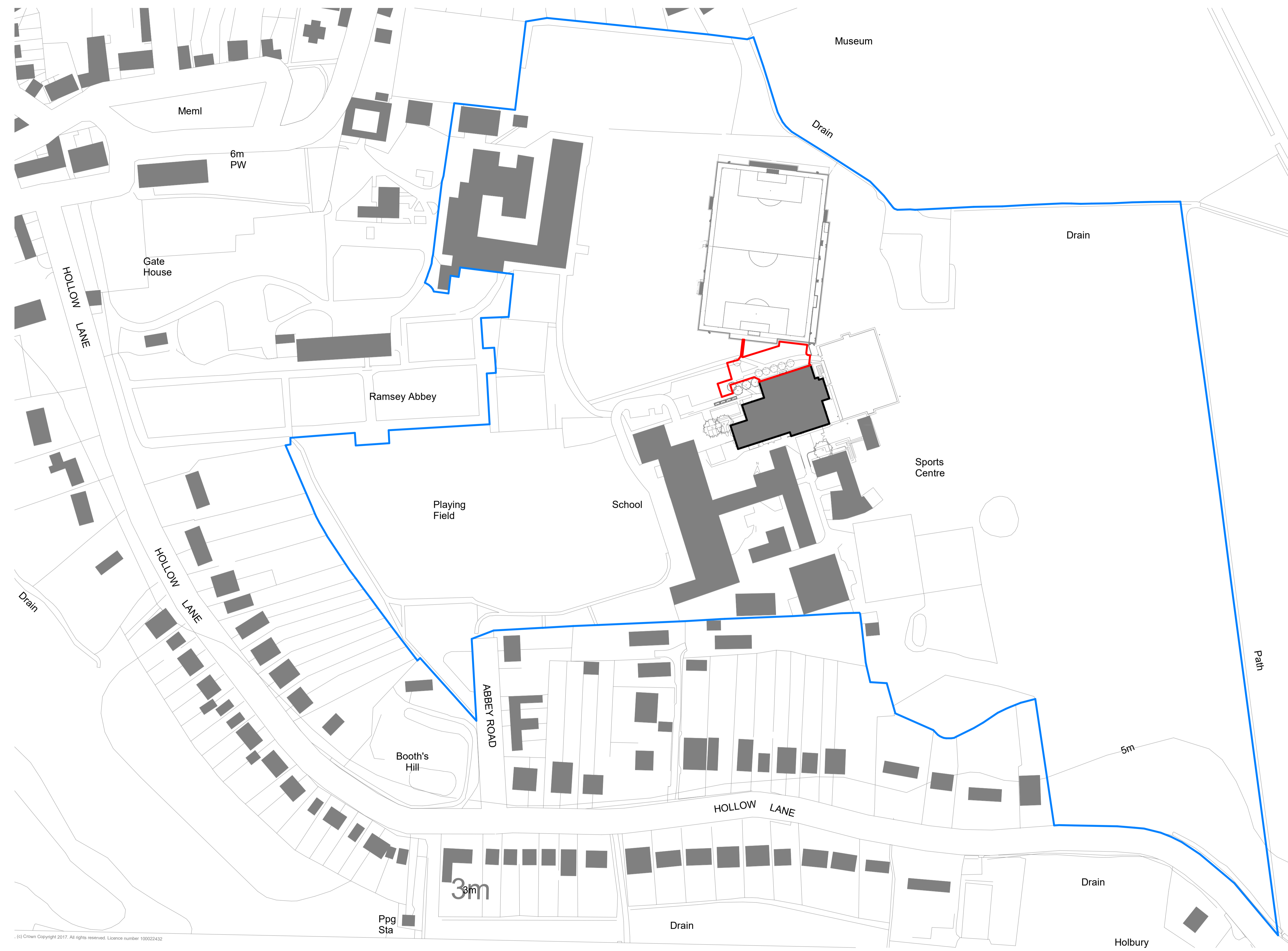
Date Created: 07/08/2024



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- Site Boundary
- Land under same ownership



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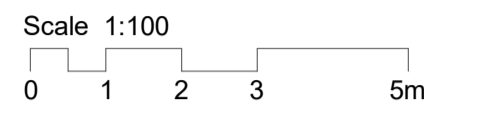
Site Location - Car Park Ext.
1 : 1250

P1	Issued for Planning	07/12/21	JS	AO
No.	Revision	Date	Chk.	Auth.

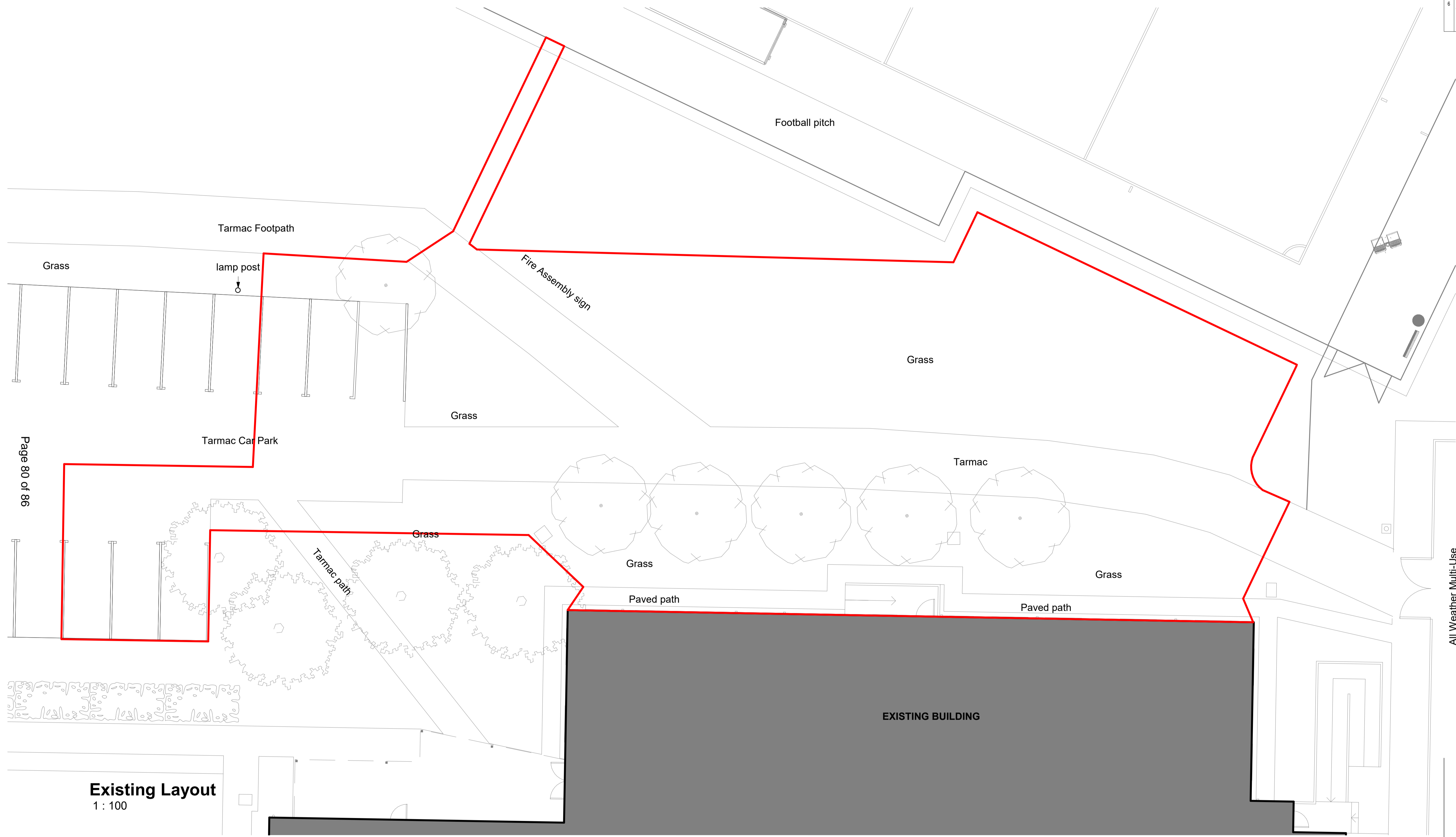
<p>Saunders Boston Architects</p> <p>Eastern Gate House, 119 Newmarket Road, Cambridge CB3 8HA T: 01223 367733 office@saundersboston.co.uk</p> <p>The Generator, The Gallery, King's Wharf The Quay, Exeter EX2 4AN T: 01392 349627 www.saundersboston.co.uk</p>	<p>Huntingdonshire DC / One Leisure</p> <p>Job Ramsey LC - Carbon Improvements</p> <p>Drawing Location Plan - Car Park Extension</p>															
	<p>Scale 1 : 1250 @A1</p> <p>Revision P1</p>	<table border="1"> <tr> <td>SBA Project Code</td> <td>Drawn</td> <td>AO</td> <td>Date</td> <td>30/11/21</td> </tr> <tr> <td>1869</td> <td>Checked</td> <td>JS</td> <td>Suitability Code</td> <td></td> </tr> </table>	SBA Project Code	Drawn	AO	Date	30/11/21	1869	Checked	JS	Suitability Code					
SBA Project Code	Drawn	AO	Date	30/11/21												
1869	Checked	JS	Suitability Code													
<table border="1"> <tr> <td>project</td> <td>originator</td> <td>zone</td> <td>level</td> <td>type</td> <td>role</td> <td>number</td> </tr> <tr> <td>1869-SBA-XX</td> <td>-00</td> <td>-DR</td> <td>-A</td> <td>-500</td> <td></td> <td></td> </tr> </table>		project	originator	zone	level	type	role	number	1869-SBA-XX	-00	-DR	-A	-500			
project	originator	zone	level	type	role	number										
1869-SBA-XX	-00	-DR	-A	-500												

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— Site Boundary




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Existing Layout
1 : 100

All Weather Multi-Use Games Court

P2	Issued for Planning	07/12/21	JS	AO
P1	Draft Issue for comments	05/11/21	MNL	AO
No.	Revision	Date	Chk.	Auth.



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Huntingdonshire DC / One Leisure

Job
Ramsey LC - Carbon Improvements

Drawing
Existing Car Park - Car Park Extension

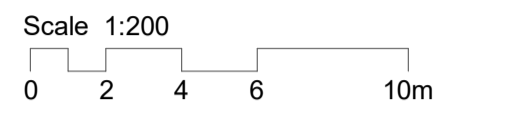
Scale
1 : 100 @A1

Revision
P2

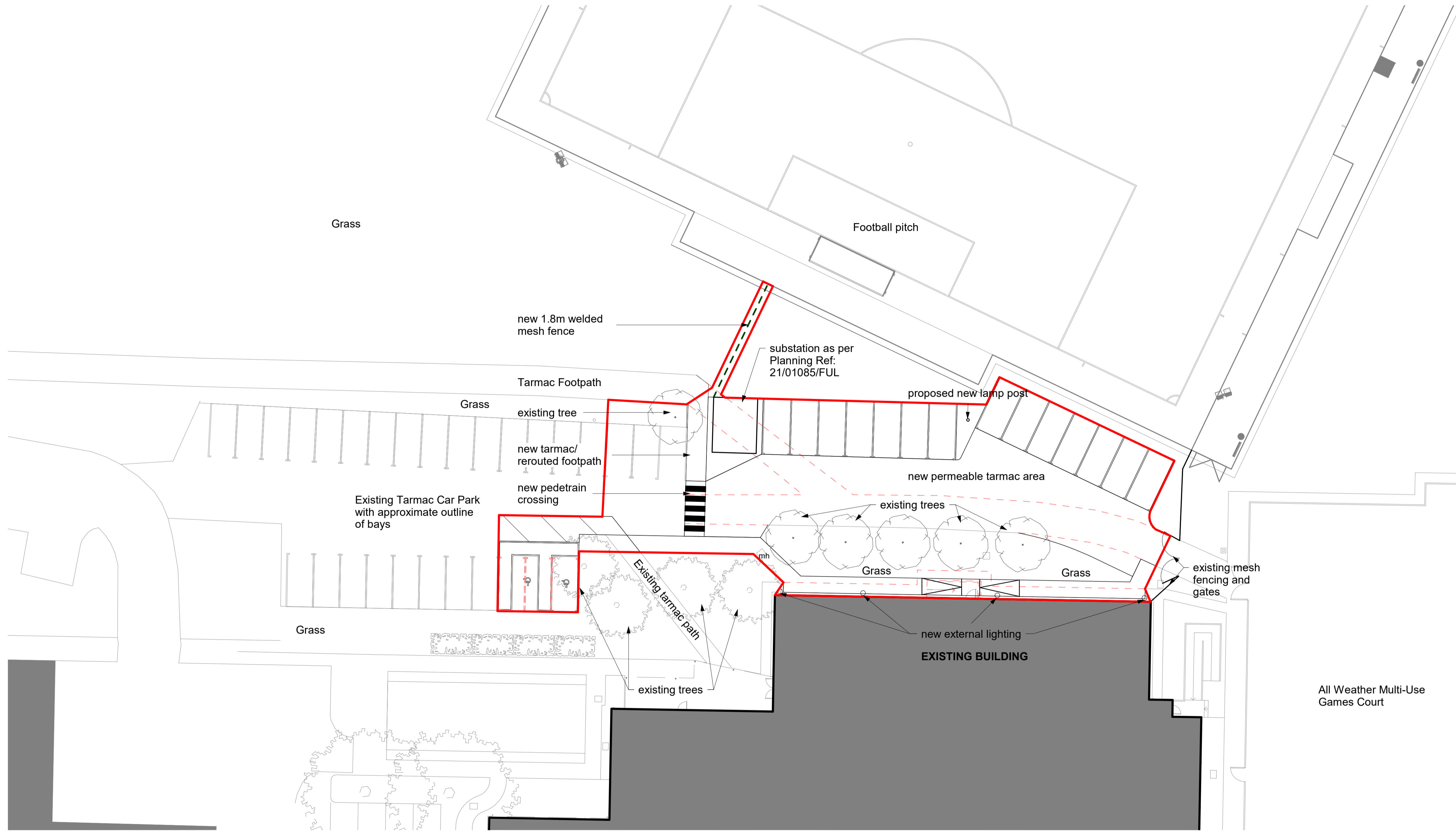
SBA Project Code	Drawn	AO	Date	04/11/21
1869	Checked	MNL	Suitability Code	

project	originator	zone	level	type	role	number
1869-SBA-XX	-00	-DR	-A	-910		

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Site Boundary



Page 81 of 86

Proposed Site Plan
1 : 200

No.	Revision	Date	Chk.	Auth.
P2	Issued for Planning. Preliminary Issue date corrected. New external lighting and welded mesh fence shown	07/12/21	JS	AO
P1	Preliminary Issue	01/12/21		
No.	Revision	Date	Chk.	Auth.

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Huntingdonshire DC / One Leisure

Job
Ramsey LC - Carbon Improvements

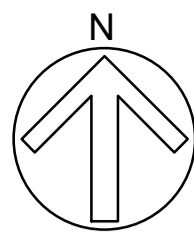
Drawing
Site Plan - Car Park Extension

Scale
1 : 200 @A1

Revision
P2

SBA Project Code	Drawn	AO	Date	30/11/21
1869	Checked	JS	Suitability Code	

project	originator	zone	level	type	role	number
1869-SBA-XX	-00	-DR	-A	-504		



GENERAL LEGEND

— Indicative site red line boundary (0.092 ha)

SURFACES & KERBING LEGEND:

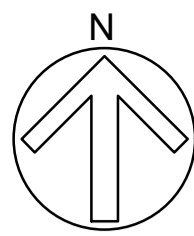
- BN** Proposed Concrete bullnosed Kerb (125 x 150mm) laid flush with surface. Refer to drawing C-005 for details.
- EF** Proposed Concrete edging – flat top (50 x 150mm) laid flush with surface. Refer to drawing C-005 for details.
- SC** Proposed Square Channel Kerb – flat top, laid flush with surface. Refer to drawing C-005 for details.
- TR** Proposed Transition Kerb – transition from existing to proposed pavement. Refer to drawing C-005 for details.
- Proposed Permeable Footpath Construction. Refer to detail C1 on drawing C-005.
- Proposed Permeable Tarmac Driveway Construction. Refer to detail C2 on drawing C-005.
- Proposed Tarmac Footpath Construction. Refer to detail C3 on drawing C-005.
- Proposed Grasscrete Car Parking Construction. Refer to Marshalls (manufacturer's detail) grassguard paving design for car park use.
- Denotes Proposed Soft Landscaping. Refer to Landscape Architect plan.

FINISHED LEVELS LEGEND:

- +20.43 Proposed Finished Ground Level
- +(20.43) Proposed Finished Ground Level to match existing level
- 1:95 Proposed Finished Surface Gradient

- GENERAL** **DO NOT SCALE**
1. The contractor shall comply with the health and safety requirements as set out in the CDM Regulations
 2. All works are to be undertaken in accordance with the Building Regulations and latest relevant British Standards.
 3. Conflicting information between this drawing and information given by others must be referred to the engineer before the works commence.
 4. The contractor shall, before commencing the works, verify all existing outfall invert levels and site and setting out dimensions. The contractor shall be responsible for the true and proper setting out of the works and for the correctness of the position, levels, dimensions, and alignment of all parts of the works. Any discrepancies are to be reported to the Engineer
 5. All products used are to be CE marked in accordance with the Construction Products Directive CPD/89/106/EEC.
 6. The contractor shall be responsible for locating all existing utilities prior to commencing construction and protecting all existing services affected by the works.
 7. Any unidentified hazards discovered during the progress of works are to be reported immediately to the engineer.
 8. This drawing should not be used for setting out

T1	28/02/23	DT	TENDER ISSUE	DM	DM
REV	DATE	BY	SUMMARY OF CHANGE	CHK	APD
DRAWING STATUS: TENDER					
Nine Hills Road, Cambridge CB2 1GE Tel: +44 (0)1223 343 277 E: enquiries@civilistix.com www.civilistix.com					
CLIENT: ETEC Group					
ARCHITECT: Saunders Boston Architects					
PROJECT: Abbey College Ramsey Cambridgeshire					
DRAWING TITLE: Proposed Kerbs, Levels and Surfaces General Arrangement Plan					
SCALE @ A1: 1:200		CHECKED / APPROVED BY: DM		DATE: 20 / 02 / 2023	
PROJECT No: 1-595		DRAWING No: C-004		REV: T1	



PROPOSED SURFACE WATER MANHOLE SCHEDULE							
Note: Levels to be confirmed. Levels to Ordnance Survey Datum.							
MANHOLE REF	COVER LEVEL (m)approx	INVERT LEVEL (m)	MANHOLE TYPE	MANHOLE SIZE (mm)	COVER & FRAME	NOTES	BACKDROP/CATCHPIT
SWMH 01	9.96*	9.26	PPIC	450Ø	Class C250 450x450	-	-
SWMH 02	9.98*	8.80	2	1200Ø	Class C250 600x600	-	-
SWMH 03	10.02*	8.63	2	1200Ø	Class C250 600x600	Hydrobrake discharging 2.0l/s	Catchpit
SWMH 04	10.00*	9.20	PPIC	450Ø	Class C250 450x450	-	-
SWMH 05	9.85*	9.25	PPIC	450Ø	Class B125 450x450	-	-
SWMH 06	9.85*	9.25	PPIC	450Ø	Class B125 450x450	-	-
SWMH 07	10.00*	9.12	PPIC	450Ø	Class B125 450x450	-	-

GENERAL LEGEND

— Indicative site red line boundary (0.092 ha)

GROUND INVESTIGATION LEGEND

■ Location of Trial Pit

Results as shown herein as taken from Yourenvironment, Infiltration Testing (ref: YEX3741), dated March 2022

EXISTING DRAINAGE LEGEND

⊕ SWMH — Existing Private Surface Water Drainage. (Drainage information as taken from Premier Drainage Company Ltd, CCTV Drainage Survey, date 01/02/2023)

⊕ FWMH — Existing Private Foul Water Drainage. (Drainage information as taken from Premier Drainage Company Ltd, CCTV Drainage Survey, date 01/02/2023)

DRAINAGE LEGEND

⊕ SWMH — Proposed Surface Water Drainage (diameter to be 150mm unless otherwise noted)

* — Indicates Cover level is indicative and to match proposed finished surface level

— Proposed Perforated Land Drainage (Pipe diameter to be 150Ø, max pipe gradient 1:200)

G — Proposed private trapped gully

← BIRCO 100, 0/0 150Ø — Marshall Birco 100, 0/0 base unit (C250 cast iron slotted cover) laid @ 1:100 invert (direction of fall as indicated) with Birco system junction unit (150Ø outfall) as per manufacturer.

▨ — Proposed Permeable construction

▨ — Proposed Underground Geo-cellular storage crates

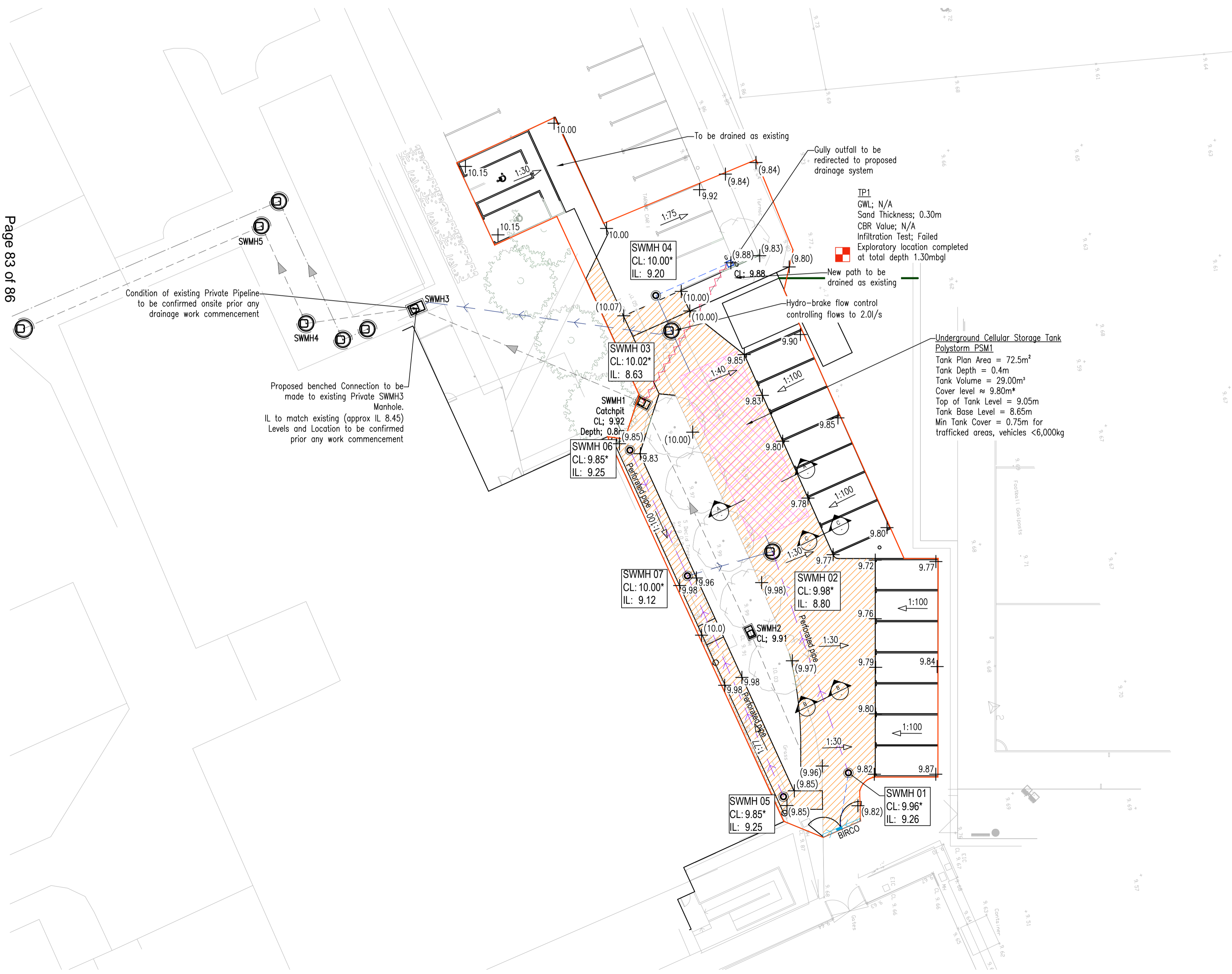
— — Existing pipes to be abandoned

FINISHED LEVELS LEGEND:

+20.43 — Proposed Finished Ground Level

+ (20.43) — Proposed Finished Ground Level to match existing level

↘ 1:95 — Proposed Finished Surface Gradient



- GENERAL** DO NOT SCALE
- The contractor shall comply with the health and safety requirements as set out in the CDM Regulations
 - All works are to be undertaken in accordance with the Building Regulations and latest relevant British Standards.
 - Conflicting information between this drawing and information given by others must be referred to the engineer before the works commence.
 - The contractor shall, before commencing the works, verify all existing outfall invert levels and site and setting out dimensions. The contractor shall be responsible for the true and proper setting out of the works and for the correctness of the position, levels, dimensions, and alignment of all parts of the works. Any discrepancies are to be reported to the Engineer
 - All products used are to be CE marked in accordance with the Construction Products Directive CPD/89/106/EEC.
 - The contractor shall be responsible for locating all existing utilities prior to commencing construction and protecting all existing services affected by the works.
 - Any unidentified hazards discovered during the progress of works are to be reported immediately to the engineer.
 - This drawing should not be used for setting out

- DRAINAGE**
- All drain runs constructed with less than 600mm cover between finished ground level and crown of the pipe are to be enclosed with a minimum of 150mm Grade S14 concrete. The casing concrete is to be jointed at every pipe joint position with 20mm Flexcell board to form joint and provide joint flexibility.
 - All pipework 300mmØ or below to be vitrified clay, Hepworth Supersleeve/Supersel or similar approved. All pipework greater than 300mm Ø to be Class H concrete.
 - All SVP/SS and RWP building spurs to be 100Ø pipework laid at 1:40 for foul water and 1:80 for surface water.
 - All oil/forecourt/washdown separators to be fitted with high level alarm located within maintenance building. For ducting arrangement, refer to...
 - Installation of oil / washdown / forecourt separators to be undertaken in strict accordance with manufacturer instruction and installation details.
 - Refer to Architect and / or Mechanical & Electrical design packages for Rain Water Pipe (RWP) and Foul Water Outlet (FWO) exact setting out positions
 - All building drainage to be installed and tested in compliance with the Building Regulations Approved Document H, 2015 Edition and to be reviewed for compliance by Building Control prior to construction commencing
 - In situ concrete for use in general drainage works shall be in accordance with BS:8500 and in accordance with the recommendations of the site investigation report, and in accordance with BRE digest 1 "concrete in aggressive ground" to meet any expected sulphate conditions.
 - All gullies, channels and manhole covers are to be set 5mm lower than indicated on the drawing (i.e. 5mm lower than the adjacent surface). All drain and sewer pipes are to be laid soffit to soffit, unless shown otherwise.
 - All above-ground drainage to incorporate ridding access facilities.
 - All manhole covers and frames shall be manufactured from ductile iron and comply with BS:EN124 and be marked 'FW' or 'SW'. They shall be non-ventilating type and have closed keyways. The minimum frame depth shall be 100mm.
 - Small lightweight access covers should be secured (e.g. with screws) to deter unauthorised access.
 - Manholes deeper than 1m to have galvanized steel step irons or fixed ladders.
 - Manhole covers within paved areas are to be recessed with paving to match.
 - Contractor to undertake a pre-construction CCTV drainage survey to confirm that no existing third party connections require maintaining or diverting through the development site.
 - Exact arrangement of Geo-cellular storage to provide sufficient access for maintenance and venting will be subject to specific manufacturer product details. It is recommended therefore, a design of geo-cellular storage is obtained from the clients chosen manufacturer prior to works commencing
 - As of Table 11, Part H of the Building Regulations ("Drainage and Waste Disposal"), all inspection chambers with cover greater than 1.2m shall utilize a restricted square 350 x 350 or circular 350Ø cover
 - All adoptable sewers to be constructed in accordance with the latest revision of "Design Construction Guidance (DCG)" and to the satisfaction of the statutory sewerage undertaker overseeing engineer

T1	28/02/23	DT	TENDER ISSUE	DM	DM
REV	DATE	BY	SUMMARY OF CHANGE	CHK	APD

DRAWING STATUS: TENDER

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CLIENT: ETEC Group

ARCHITECT: Saunders Boston Architects

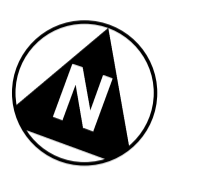
PROJECT: Abbey College Ramsey Cambridgeshire

DRAWING TITLE: Proposed Drainage General Arrangement Plan

SCALE @ A1:	CHECKED / APPROVED BY:	DATE:
1:200	DM	20 / 02 / 2023

PROJECT No:	DRAWING No:	REV:
1-595	C-002	T1

- No. Note
- All dimensions to be verified on site by GENERAL CONTRACTOR prior to any work, setting out or shop drawings being prepared.
 - © copyright SAUNDERS BOSTON LIMITED. All rights reserved. This drawing remains the property of SAUNDERS BOSTON LIMITED at all times and may not be reproduced or copied in whole or in part without their prior written consent.
 - This drawing and related specifications are for use only in the stated location.
 - This drawing is to be read in conjunction with all other Consultants drawings and specifications.
 - Drainage has not been surveyed and any/all pipe locations and below ground drainage runs are indicative.
 - It is assumed that all works will be carried out by a competent contractor who will be working, where appropriate, to an approved method statement.



Site Boundary

Plan Key

- Existing grassed area
- Proposed Grasscrete
- Existing tarmac area
- Proposed enlarged tarmac area
- Existing paved footpath
- Proposed footpath extension
- New welded mesh fence
- Existing road/path edge outline

SPECIFICATION FOR NEW WELDED MESH FENCE

Type: Galvanised metal mesh panel fencing

Post: 80 x 60mm rectangle hollow section (RHS) with anti-tamper connectors, hot dipped galvanised to BS EN 1461. Post to be inserted 1000mm into concrete base

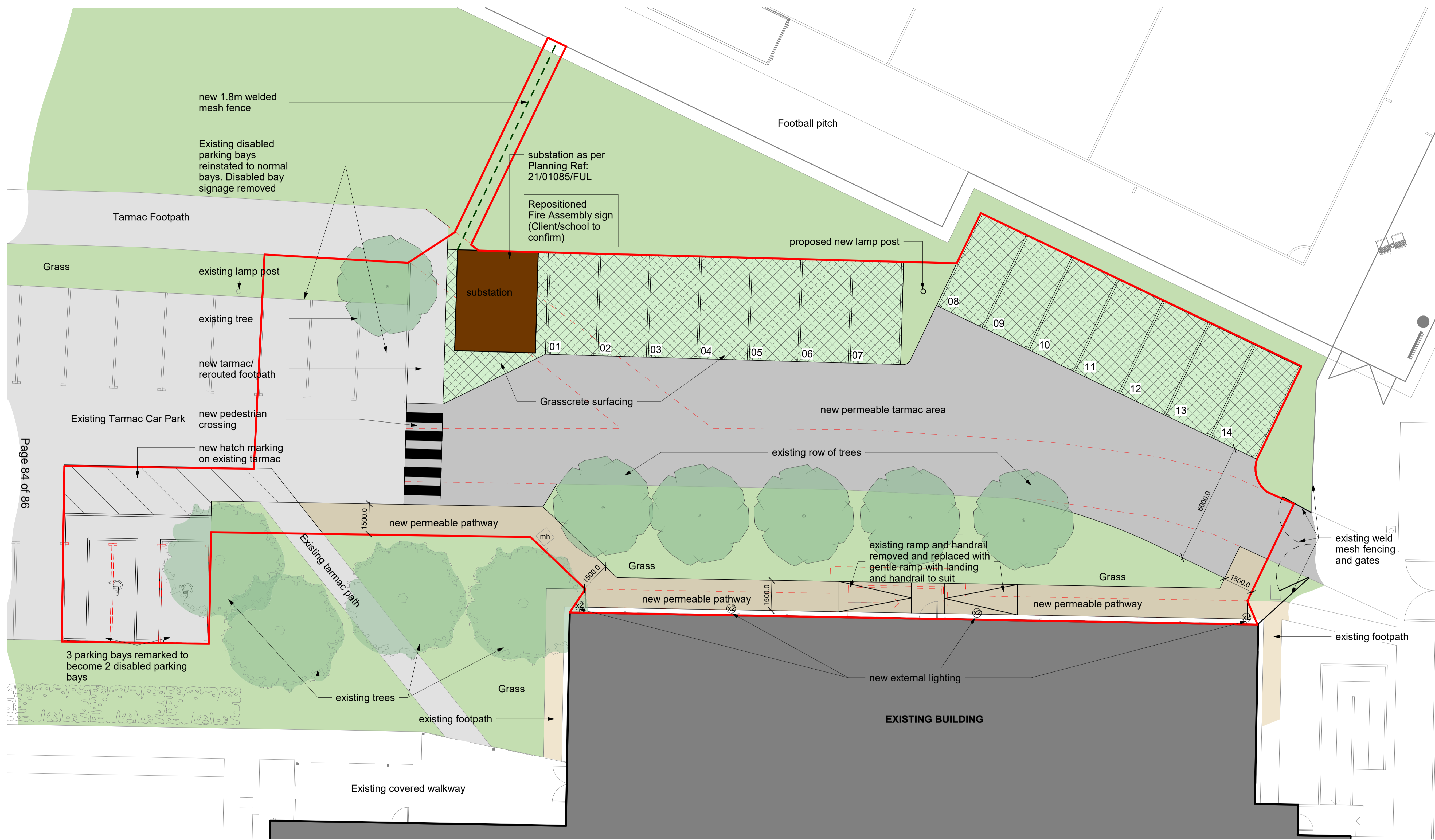
Overall post length: 2800mm

Height: 1800mm

Post foundations: min 250 x 250 x 1100mm deep concrete base

Finish/Colour: Galvanised and powder coated, Green RAL 6005 to BS EN 13438

All Weather Multi-Use Games Court



Proposed Layout
1 : 100

No.	Revision	Date	Checked	Auth
P4	Issued for Planning. New external lighting and welded mesh fence shown	07/12/21	JS	AO
P3	Further updates to pathways	18/11/21	MNL	AO
P2	Additional parking bay added following client's comments	05/11/21	MNL	AO
P1	Draft issue for comments	05/11/21	MNL	AO

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Huntingdonshire DC / One Leisure

Job
Ramsey LC - Carbon Improvements

Drawing
Proposed Layout - Car Park Extension

Scale
1 : 100 @A1

Revision
P4

SBA Project Code	Drawn	AO	Date	04/11/21	Checked	MNL	Submittal Code	project	originator	zone	level	type	role	number
1869								1869-SBA-XX	-00	-DR	-A	-502		

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Planning Appeal Decisions Since July 2024 Committee

Ref No	Appellant	Parish	Proposal	Site	Original Decision	Delegated or DMC	Appeal Determination	Costs
22/023 05/ LBC	Mr Fred Caporaso	St Ives	Proposed removal of an internal wall, to be replaced with a Victorian arch.	1 Cromwell Place St Ives PE27 5JB	Refused	Delegated	Appeal Dismissed	N/A
23/003 24/ FUL	Bewick Homes Ltd	Offord Cluny & Offord Darcy	Erection of a one-and-a-half-storey three-bedroom property and associated works	Land North Of 208 High Street Offord Cluny	Pending Decision (Non-Determination)	Delegated	Appeal Dismissed	N/A
23/007 74/ FUL	AJB Home & Utilities Ltd	St Neots	Erection of two x two-bedroom homes and associated works	2 Queens Court Eaton Socon St Neots PE19 8BZ	Refused	Delegated	Appeal Dismissed	N/A
23/011 64/ FUL	AWJ Usher & Sons Ltd	St Neots	Erection of six bungalows and associated works	Land Adjacent 31 Luke Street Eynesbury	Pending Decision (Non-Determination)	Delegated	Appeal Dismissed	N/A
22/024 99/ FUL	Mr Martin Hicks	St Neots	Erection of a single-storey three-bedroom dwelling.	1 Field Cottage Road Eaton Socon St Neots PE19 8HA	Refused	Delegated	Appeal Dismissed	N/A
23/022 41/ PIP	Mr Aaron Edlington	Stilton	Erection of a detached dwelling. Access from the highway to be along the line of	11 Fen Street Stilton Peterborough PE7 3RJ	Refused	Delegated	Appeal Dismissed	N/A

			the existing driveway of 11 Fen Street, continuing to the proposed development site at rear of the garden. Demolition of the existing garage.					
22/004 59/ FUL	Mr Graham Jeffery	Little Paxton	Change of use of residential swimming pool to a mixed use of residential swimming pool and use for the provision of children's swimming classes (retrospective)	12 River Close Little Paxton St Neots PE19 6NX	Refused	Delegated	Appeal Dismissed	N/A
23/025 04/ HH FUL	Mr Don Kennedy	Alwalton	Erection of 1.8m boundary fence with access gates to the front of property	5 Mill Lane Alwalton Peterborough PE7 3UZ	Refused	Delegated	Appeal Dismissed	N/A